

Supplementary Agenda

Infrastructure, Regeneration and Economic Development Committee

Date: Wednesday, 17 November 2021

Time: 10:00

Format: Hybrid meeting

Contact: Gabriella Gonda, Committee Officer
Email: gabriella.gonda@west-dunbarton.gov.uk

Dear Member

ITEM TO FOLLOW AND ADDITIONAL ITEM OF BUSINESS

I refer to the agenda for the above Meeting of the Infrastructure, Regeneration and Economic Development Committee which was issued on 4 November 2021 and now attach for your attention a copy of the report relating to Item 13 which was not available for issue at that time, together with a report relating to Item 20 which Councillor McLaren, Chair, has agreed will be considered as an additional item of business.

Yours faithfully

JOYCE WHITE

Chief Executive

Note referred to:-/

Note referred to:-

13 UPDATE ON ACTIVITY IN RELATION TO GLENCAIRN HOUSE, HIGH STREET, DUMBARTON AND THE CREATION OF A PUBLICLY ACCESSIBLE COLLECTIONS STORE AND ARCHIVE 163 - 252

Submit report by Chief Officer – Citizens, Culture and Facilities providing an update on the progress made since August 2019 in relation to the redevelopment of Glencairn House, Dumbarton, and the creation of a Publicly Accessible Collections Store.

20 PURCHASE OF ARTIZAN SHOPPING CENTRE 253 - 258

Submit report by the Chief Officer – Supply, Distribution and Property providing an update in relation to the planned purchase of the Artizan Shopping Centre in Dumbarton and seeking approval to use existing Council capital budgets, if required.

Distribution:-

Councillor Iain McLaren (Chair)
Councillor Gail Casey
Councillor Karen Conaghan
Councillor Ian Dickson
Councillor Diane Docherty (Vice Chair)
Councillor Jim Finn
Provost William Hendrie
Councillor David McBride
Councillor Jonathan McColl
Councillor John Mooney
Councillor Lawrence O'Neill
Councillor Martin Rooney

All other Councillors for information

Chief Executive
Chief Officer – Regulatory and Regeneration
Chief Officer – Supply, Distribution and Property
Chief Officer – Roads and Neighbourhood

Date of issue: 11 November 2021

WEST DUNBARTONSHIRE COUNCIL

Report by Chief Officer - Citizens, Culture and Facilities

Infrastructure Regeneration and Economic Development Committee: 17 November 2021

Subject: Update on activity in relation to Glencairn House, High Street, Dumbarton, and the creation of a Publicly Accessible Collections Store and Archive

1. Purpose

1.1 The purpose of this report is to update the Committee on the progress made since August 2019 in relation to the redevelopment of Glencairn House, Dumbarton, and the creation of a Publicly Accessible Collections Store.

2. Recommendations

2.1 It is recommended that the Committee:

- (i) Notes the terms of this report and the progress made in developing the plans for Glencairn House, Dumbarton and the creation of a Publicly Accessible Collections Store and Archive; and
- (ii) Authorise the Chief Officer Supply, Property and Distribution to carry out a procurement exercise in accordance with the Council's Standing Orders and Financial Regulations and the Public Contracts (Scotland) Regulations 2015.
- (iii) Notes that the outcome of the procurement process will be reported to a future Tendering Committee for approval.

3. Background

3.1 In May 2019 a report was presented to the Infrastructure, Regeneration & Economic Development Committee detailing proposals for a new use for Glencairn House and the existing Dumbarton Library into an achieve and office hub. This report gave background information on the history of Glencairn House. It also outlined extensive information on the options appraisals and other activity that had been followed by Council Officers to generate the proposal for a library and museum in Glencairn House, and a publicly accessible collection store and archive, and modern office space at the existing Dumbarton Library.

3.2 In August 2019 a report was presented to the Infrastructure, Regeneration & Economic Development Committee updating on the results of the public consultation and refined proposals for a new use for Glencairn House and the existing Dumbarton Library.

- 3.3** In summary the proposed project would see the currently vacant Glencairn House, one of West Dunbartonshire's oldest buildings, transformed into a state-of-the-art library and museum. This would provide additional floor space for such a use, a large extension would be built to the rear of the building. The end result will create a venue that faced out onto the riverside as well as providing panoramic views of the River Leven, River Clyde and Dumbarton Rock. It will continue the Council's strategy of investing in Dumbarton Town Centre by establishing a landmark building for Dumbarton to complement the recently opened Church Street Offices, support the new riverside walkway, and further assist the regeneration of the town centre.
- 3.4** It is proposed that the new library would include dedicated separate spaces for children and families, computer use and quiet study, alongside a wide selection of fiction and non-fiction items in a variety of high-demand formats. A relaxing recreational space would also be included featuring a coffee station to increase dwell times and improve the overall customer experience. Museum facilities would include an entire local history floor featuring an exhibition space. This would be further augmented by the integral display of artefacts throughout all floors of the building. Among the most important objects available for display are a Roman Medallion from 193AD; the 'Skellat Bell' from the early Christian church in Scotland; Tron Weights which date from the early 1700s; The company seal for the Dumbarton Glassworks; The Dubonnet Trophy, presented to Sir Jackie Stewart at the 1969 Mexican Grand Prix; and the Overtoun Collection and associated civic fine art.

4. Main Issues

- 4.1** Following a procurement exercise officers engaged with Page \ Park Architects to carry out a briefing exercise and concept design development (RIBA Stages 0-2) for the renovation and extension of Glencairn House.
- 4.2** Appendix 1 details history, context and current proposals which will form part of a planning application early 2022.
- 4.3** The current indicative programme indicates completion in March 2024.
- 4.4** The proposals set out in Appendix 1 Glencairn House will be a public lending library and a local history museum. The existing Dumbarton library at Strathleven Place will be relocated to Glencairn House. The local history archives will remain at Strathleven Place and be redeveloped as part of a separate project. The Glencairn House should provide flexible layouts capable of meeting modern user requirements whilst being sympathetic to the historic character of the building.
- 4.5** The library services moving to Glencairn House are: main adult lending library, children's library, digital access fixed PC terminals are to be provided for internet access, private meeting room / community room, MacMillan space, public unisex toilets including a changing places toilet.

- 4.6** The museum element to be contained within the building will display key objects from the collection and use these to tell different stories about Dumbarton. The museum display will be integrated throughout the building so it is accessible and not shut away behind closed doors. For noting Appendix 1 contains a schedule of museum objects which will be housed within the museum element of the building.
- 4.7** The designs for Glencairn House will be over three floors, including a standalone children's library, disable access toilets, lifts to all floors and panoramic views of Levensgrove Park and Dumbarton Castle.
- 4.8** As part of the regeneration vision a new visitor gateway for Dumbarton is proposed to be formed by an 'Arc of attraction' that includes at its core the town's principal attractions: Dumbarton Rock and Castle, Glencairn House, the connecting Waterfront Path and the Scottish Maritime Museum. This proposal is described in detail in the "Dumbarton visitor gateway strategy action plan - final" completed in September 2020. The western end of the Arc is "anchored on Glencairn House with a new heritage-based offer included in the proposed re-development. This will be a 'synoptic' centre for West Dumbartonshire, but with a focus on Dumbarton town's history and heritage. Supported by existing transport infrastructure and parking facilities across the town, its location on the High Street will enable access to other trails / walks through the town, down to the Leven riverside, through Levensgrove Park and along the Clyde waterfront." 1 Each of the attractions will provide a visitor welcome, orientation and signposting to the other attractions to some extent, in order to showcase Dumbarton's complete visitor offer.
- 4.9** Glencairn House is a significant cultural asset and delivery of this project will tell the town's story, historically and recent. The impact of Dumbarton on the early history of Scotland as well its significant industrial legacies, should be better known both locally and nationally and the redevelopment of Glencairn House provides a foundation for this, and creates an opportunity to undertake this on a town-wide scale as part of the ongoing regeneration.
- 4.10** The Infrastructure, Regeneration and Economic Development Committee, at its meeting on 10 June 2021, approved the submission by the Council of a bid to the UK Government's Levelling-Up Fund (LUF) for funding of £19.9m to regenerate Dumbarton town centre, a key component of this regeneration being the purchase and redevelopment of the Artizan Centre site.
- 4.11** As the design feasibility of the repurposing of Glencairn House as a library and museum was already underway and at an advanced state, the bid to LUF was capable of demonstrating expenditure this financial year on project development costs and future project delivery by March 2024.
- 4.12** As part of this LUF bid a cost estimate of £8.450m was identified for the regeneration of Glencairn House, with £7.450m being sought from the LUF bid, the remaining £1.000m being funded from the Council's Regeneration capital budget. Notification of approval of the LUF bid was received from the

UK Government on 27 October 2021, although at this time confirmation of funding drawn processes have had not been provided.

5. People Implications

5.1 There are no people implications arising from this report.

6. Financial and Procurement Implications

6.1 This project is to be funded from three sources already approved; the Council's Regeneration Fund £1.000m, and UK Levelling Up Fund (LUF) £7.450M.

6.2 There are no procurement issues in relation to this report and approval is sought to go to tender as detailed in recommendation 2.1 (11).

7. Risk Analysis

7.1 There is a risk that the project does not proceed due to a variety of reasons including not being able to obtain successful planning permission and future rises in construction costs may pose a significant risk.

8. Equalities Impact Assessment (EIA)

8.1 No significant issues were identified in relation to equality impact screening previously carried out and further assessment will be carried out through the Planning process.

9. Strategic Environmental Assessment

9.1 A Strategic Environmental Assessment is not required for this report. Any future development of the site will require that SEA legislation will be considered and taken into account as part of any planning application assessment.

10. Consultation

10.1 Consultation was undertaken with officers within Regeneration, Resources, Regulatory, Communications, Culture & Communities and Finance in respect of this report together with partners, which include Historic Environment and Scottish Environment Protection Agency (SEPA) none of which to date has raised any concerns in respect of the project.

10.2 The Council has undertaken extensive public consultation on this proposal in 2017 and 2019. Further consultation will take place during any Planning Application process which will include Historic Environment Scotland and the Scottish Environment Protection Agency.

11. Strategic Assessment

11.1 The Glencairn House project would support the following Council strategic priorities:

- A strong local economy and improved employment opportunities
- Meaningful community engagement with active empowered and informed citizens who feel safe and engaged
- Efficient and effective frontline services that improve the everyday lives of residents

Malcolm Bennie
Chief Officer, Citizens, Culture and Facilities
Date: 11 November 2021

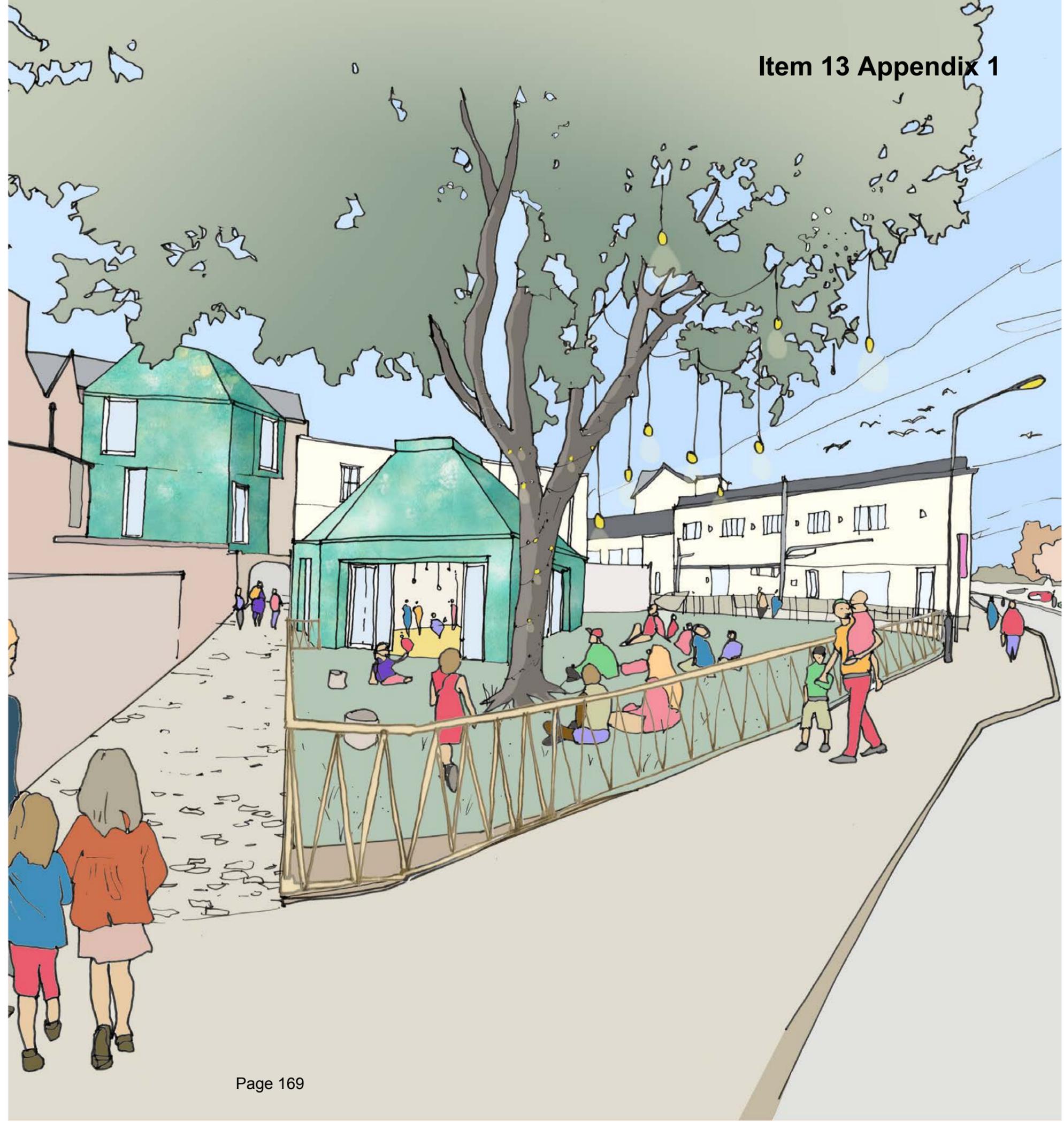
Person to Contact:	Malcolm Bennie, Chief Officer, T: 01389 777187 Email: malcolm.bennie@west-dunbarton.gov.uk Michelle Lynn, Assets Co-ordinator, T:01389 776992 Email: michelle.lynn@west-dunbarton.gov.uk
Appendices:	Appendix 1 : Glencairn House; Dumbarton's Story Centre
Background Papers:	Report on Regeneration of Glencairn House, Dumbarton, and the creation of a Dumbarton Community Archive – IRED Committee May 2019. Update Report on Regeneration of Glencairn House, Dumbarton, and the creation of a Dumbarton Community Archive – IRED Committee August 2019. Joint Report by Chief Officer - Regulatory and Regeneration and Chief Officer - Housing and Employability Special Infrastructure, Regeneration and Economic Development Committee - 10 June 2021: Levelling Up Fund and Community Renewal Fund – Proposed Bid
Wards Affected:	Ward 3

Glencairn House; Dumbarton's Story Centre

West Dunbartonshire Council
Stage 2 report

Issue 01: 23.09.2021
Issue 02: 19.10.2021

PAGE \ PARK



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1

Introduction



Dumbarton High St., circa 1950, with Glencairn House visible on right. Reproduced with the permission of WDC Archive.

Page \ Park Architects have been instructed by West Dumbartonshire Council to carry out a briefing exercise and concept design development (RIBA Stages 0-2) for the renovation and extension of Glencairn House.

Glencairn House is located at 97-99 High Street in the centre of Dumbarton. It is Category B listed and considered to be the oldest building in the town centre. It is in full Council ownership. The building is currently vacant having undergone significant fabric repair works in 2017. These works included strip out internally, extensive rot works, guano removal, replacement timber sash and case windows and rain water goods, renewal of roof timbers, new slated roof, snow guards and lead works, doff cleaning of stonework façade and lime mortar repointing. The last use of the building was as office accommodation for Dumbarton Credit Union.

A feasibility study was carried out by ZM Architects in 2017 to assess deliverable and sustainable options for the adaptive re-use of Glencairn House. This study reviewed various use options including retail, residential, office, cafe and public cultural building. This included detailed market assessments. This study proposed a local history museum as the preferred use, with potential for a complementary use.

The client's brief for this study is a new local

history museum and public lending library located in the heart of the town centre. Glencairn House presents a rare and exciting opportunity to take the assets of the museum and library services and create something greater than the sum of those parts. From a user/visitor perspective, there is a chance to create a hybrid environment that focuses on the core element that links both services – story.

Glencairn House could become the 'Story Centre' – a place that you visit to get stories and to share them, to learn the story of your community and to gift your own story to that community. This core theme would influence all aspects of the buildings content, its activities, and its operation. Staff would facilitate visitors to both source stories and to reveal their own; events and activities would focus on the myriad range and style of stories and storytelling. Outreach projects would locate in the building but source material from communities around the town.

One of the key elements in the success of any cultural project is the ability of users, participants and visitors to recognise themselves in the stories that are told. Often, interpretation (particularly of historic figures and events) can seem remote not just in terms of temporal distance, but in lifestyle, class and context of that era. Aligning those stories alongside those of contemporary citizens and joining the dots between them, allows a level of personal engagement that brings alive the

experience for the visitor and creates a richer, more authentic community cultural asset. This might show itself in fixed installations, such as exhibition space for local material, but also through a dynamic programme of community-focussed cultural events within and outwith the building.

In addition West Dumbartonshire Council is looking to support long term town centre regeneration plans by providing a striking modern extension facing the river and linking Glencairn House to Dumbarton Rock. The new 'Arc of Attraction' tourist route, described in WDC's "Dumbarton visitor gateway strategy and action plan", will link Dumbarton train station, through Glencairn House onto the redeveloped riverside walkway, past the Maritime Museum terminating at Dumbarton Rock. The concept design takes cognisance of Glencairn House's role within this broader town centre development plan.

Relevant stakeholders have been consulted at this early stage to ensure any concerns can be resolved during the design process. This includes SEPA, Historic Environment Scotland and the WDC Planning Department.

2

Brief history of Glencairn House

The historic development of Glencairn House ►

▼ Greit House

The 'Earl of Glencairn's Greit House' was built in 1623. It stands on the site of earlier town dwellings.¹ It was built as a three-storeyed town house for James Cunningham (1552-1630), the 7th Earl of Glencairn.² James Cunningham was a Privy Councillor to King James VI of Scotland when the King was developing Dumbarton as a shipbuilding and outfitting base for his new navy.

James Cunningham's descendants include William Cunningham, 8th Earl of Glencairn, and James Cunningham, 9th Earl of Glencairn, who may all have spent time at Glencairn House. The 9th Earl of Glencairn (1610 – 1664) was a Scottish nobleman, Lord Chancellor of Scotland and Chancellor of the University of Glasgow from 1660.

¹ Historic Environment Scotland (Date unknown) Dumbarton, 81 High Street, Glencairn Tenement, Available at: <https://canmore.org.uk/> (Accessed: 15th July 2021).

² From exhibition held at Dumbarton Library researched by Trish Robins, Lead Officer Arts and Exhibitions, West Dunbartonshire Council Arts and Heritage, viewed 23rd June 2021.



William Cunningham, 9th Earl of Glencairn and grandson of James Cunningham

1623
Earl of
Glencairn

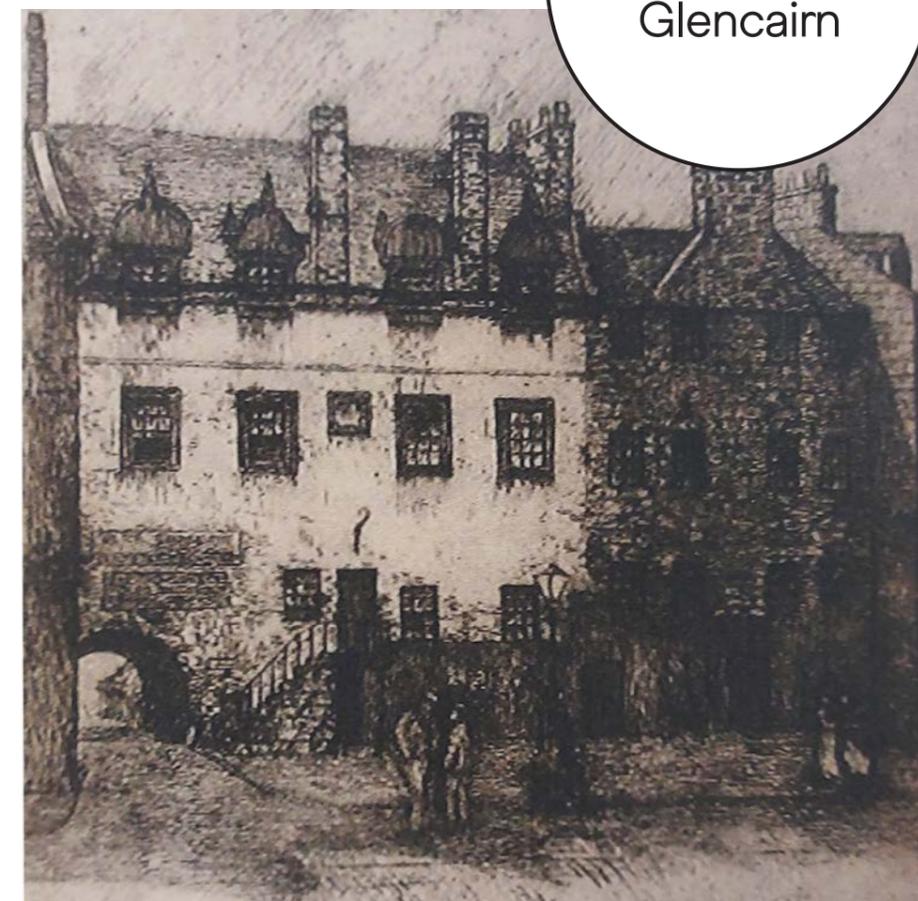
Dumbarton was the market town for the north Clyde in the medieval and post medieval periods. It was established as a Royal Burgh in 1222 by King Alexander II who saw it as a convenient place for a port.

Glencairn House was an important building within the High Street and its location shows evidence of this. The most desirable plots (or tofts) for houses and trades within the High Street would have been on the south side near the river with direct access to water as Glencairn House sits. The house was at the centre of High Street activity sited opposite the Mercat Cross and Tollbooth.

"Glencairn House faced The Cross Vennel, opposite the Tollbooth originally. The residential apartments on the upper floors were reached by a set of external steps and access to the rear of the tenement was through a round, arched pend.

The earliest mention of Glencairn House in the Burgh records was in 1631 when John Semphill of Aitkenbar, as proprietor, arrested the goods of the Earl of Glencairn for the payment of £12 10s for 2 years rent."¹

¹ From exhibition held at Dumbarton Library researched by Trish Robins, Lead Officer Arts and Exhibitions, West Dunbartonshire Council Arts and Heritage, viewed 23rd June 2021.



Etching from WDC archive, viewed at exhibition held at Dumbarton Library on 23rd June 2021

"At the Cross in High Street, and looking up College Street, stands the oldest building in the burgh - the 'Earl of Glencairn's Greit House'"

18th century Dukes of Argyll

▼ Dukes of Argyll

Glencairn House was occupied by the Dukes of Argyll throughout the 18th century, though exact dates are unknown. The third Duke of Argyll, born in 1682, was Governor of Dumbarton Castle and the Argyll faction at this time controlled the Dumbarton Town Council.¹ He was a Scottish nobleman, politician, lawyer, businessman, and soldier and considered by some as the most powerful man in Scotland at the time.²

¹ From exhibition held at Dumbarton Library researched by Trish Robins, Lead Officer Arts and Exhibitions, West Dunbartonshire Council Arts and Heritage, viewed 23rd June 2021.
² Wikipedia (2021) Archibald Campbell, 3rd Duke of Argyll, Available at: <https://en.wikipedia.org/> (Accessed: 15th July 2021).



A map of the Shire of Dumbarton, 1777 by Charles Ross. Reproduced with the permission of the National Library of Scotland

▼ A map of the Shire of Dumbarton, 1777

From the 1777 map of Dunbartonshire (opp) we can clearly see the urban form of Dumbarton dominated by The Cross Vennel and High Street. Glencairn House terminated the view down The Cross Vennel as you approached from the north, and so we can assume it was considered an important building within the townscape at that time.

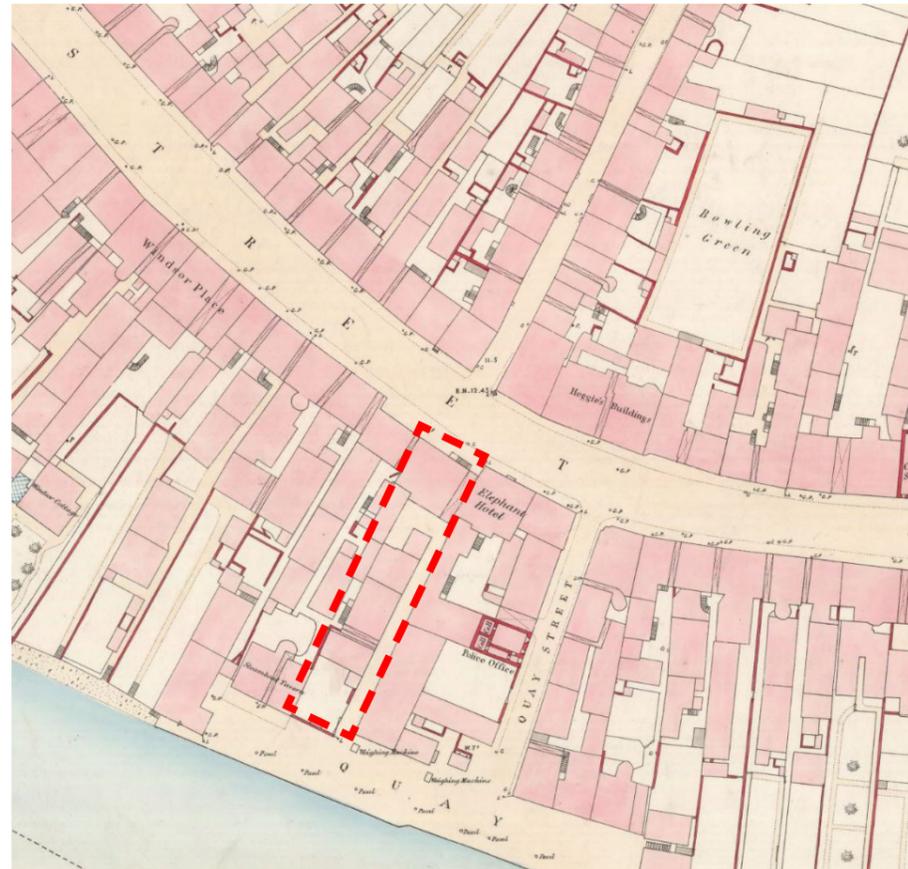
Dumbarton's glassworks was established in 1777, and from 1800 to the 1830s was the most influential glassworks in Britain. "After 1780 skylights were added to Glencairn House which contained glass manufactured by Dumbarton Glassworks."¹

¹ As 1 below



Archibald Campbell, 3rd Duke of Argyll, image retrieved from Wikipedia

Late 19th century



Ordnance Survey large scale Scottish town plans, 1847-1895. Town Plan of Dumbarton Surveyed: 1859. Reproduced with the permission of the National Library of Scotland

▼ Town Plan of Dumbarton 1859

From the 1859 OS Town plan of Dumbarton we can clearly see the external steps to the front of Glencairn House leading to the upper floor apartments. Quay Pend is also clearly visible leading to a quay on the Leven to the rear of the site. We can see a long thin extension to the rear on the western site boundary and a series of outbuildings stretching down the site to the quay. The Elephant Hotel is noted next door, and the Steamboat Tavern at the end of Quay Pend. There are two weighing machines located on the quay. Quay Pend must have been a busy route between High Street and the river's edge along with Quay Place.

▼ Decline

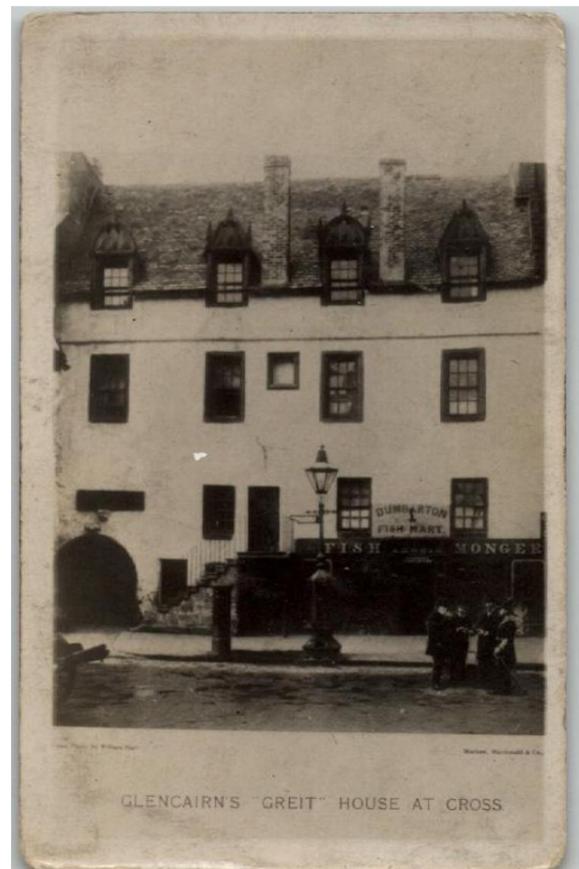
"The latter half of the nineteenth century saw Glencairn House decline. By the 1880s...the Dumbarton fish market had opened on the ground floor while the upper floors had been subdivided and let to tenants.

The recessed area in front of the building became a place for collecting and disseminating information. Proclamations were read from the steps, bill posters were displayed and religious meetings took place in front of the building.

In 1908 a joiner named William Brown owned the ground floor of the building, while Mr. W.F. Bannatyne who lived in New Zealand owned the upper floors.

By 1918 the building had become derelict and was bought by Peter Thomson, Dumbarton blacksmith. He later sold it to the Town Council for £600 in 1923."¹

¹ From exhibition held at Dumbarton Library researched by Trish Robins, Lead Officer Arts and Exhibitions, West Dunbartonshire Council Arts and Heritage, viewed 23rd June 2021.



View of Glencairn's Greit House, 81 High Street, Dumbarton. Titled: 'Glencairn's "Greit" House at Cross.' c.1893. Photo reproduced with the permission of WDC archive.



People gathered on the steps of Glencairn House, 1910, and Mary Adams, wheelk seller on steps of Glencairn House c1920. Photos reproduced with the permission of WDC archive.





Photo of Glencairn House after remodelling, c.1930, retrieved from canmore.org.uk



Photo of Glencairn House in 1920 before the chimneys were removed. Photo reproduced with the permission of WDC archive.

20th century
DGC

▼ Today

"In later years Glencairn House was occupied by the Health Office and by 2001 the West Dunbartonshire Council Social Work Department were housed in the building."¹

Today the building stands empty. Fabric repair works have been carried out by WDC to consolidate the fabric and plans are underway to redevelop the building into a lending library and local history museum.

¹ From exhibition held at Dumbarton Library researched by Trish Robins, Lead Officer Arts and Exhibitions, West Dunbartonshire Council Arts and Heritage, viewed 23rd June 2021.

Today
West
Dunbartonshire
Council

▼ Dumbarton Gas Corporation

Glencairn House was refurbished in the 1920s and converted into the Dumbarton Gas Corporation's showroom for domestic gas appliances. At this time the front steps and tall chimneys were removed, three large arched windows inserted into the front elevation and the harling stripped. Internally the ground floor was opened up with three further large openings and the floor level raised. The letters DGC were inlaid into a mosaic tiled floor at the entrance and remain today.

"In 1926 the building reopened with gas showrooms on the ground floor and the town's health department, sanitary inspector and medical officer of health in offices on the upper floors."¹

¹ From exhibition held at Dumbarton Library researched by Trish Robins, Lead Officer Arts and Exhibitions, West Dunbartonshire Council Arts and Heritage, viewed 23rd June 2021.



Internal view of the ground floor as display of domestic gas appliances. Gas Corporation c. 1925 West Dunbartonshire Council. Dumbarton Library Archive



Photo of Glencairn House in 1965. Photo reproduced with the permission of WDC archive.

3

Existing plans

Page 180

Phases of development

"The building is a 3-storey, 4-bay sandstone townhouse with three round arched openings inserted in 1924-25. The Category B listed building is of traditional construction with solid masonry walls formed in a grey / light blond squared, coursed rubble. It has a slated double pitched roof to High Street with crow-stepped gables and features four pedimented wallhead dormers with spike finials. **The rear, which is considered to have been extended in 19th century, has a slated piended roof with a valley gutter between.**"¹

"The rear building is considered to be non-original built sometime in the 19th century. Archive photos date this to at least 1932 (figure 7) where it had a flat roof (now piended). The thickness of the spine wall to the centre of the plan and the arrangement of the existing openings is suggestive that this would have originally been the rear wall to a shallow domestic plan. From analysis the pend appears not to have been extended and therefore there may originally have been a lower building to the rear connected to the original house. This may have been built on (extended upwards) to create the current arrangement."²

At present Glencairn House consists of a front bay facing onto High St. which is considered to be the original, though significantly altered, 1623 townhouse. A second bay to the rear appears Georgian in character and is believed to have been constructed in the 19th century as noted above. To the rear of that is a small 2 storey extension with a further single storey extension dating from the early 20th century. The building has three storeys. The ground floor is a double height storey with a small mezzanine over the pend.

Substantial renovation works were carried out in 1924-25 when Glencairn House was converted into a gas appliances showroom. At this time the front steps were removed and three large double height arches were inserted in the front elevation. The chimney stacks to the front elevation were taken down and the harl finish was removed to reveal the stonework behind. Two blocked up openings from the ground floor onto the pend suggest the ground floor level was originally lower and was potentially raised at this time also.

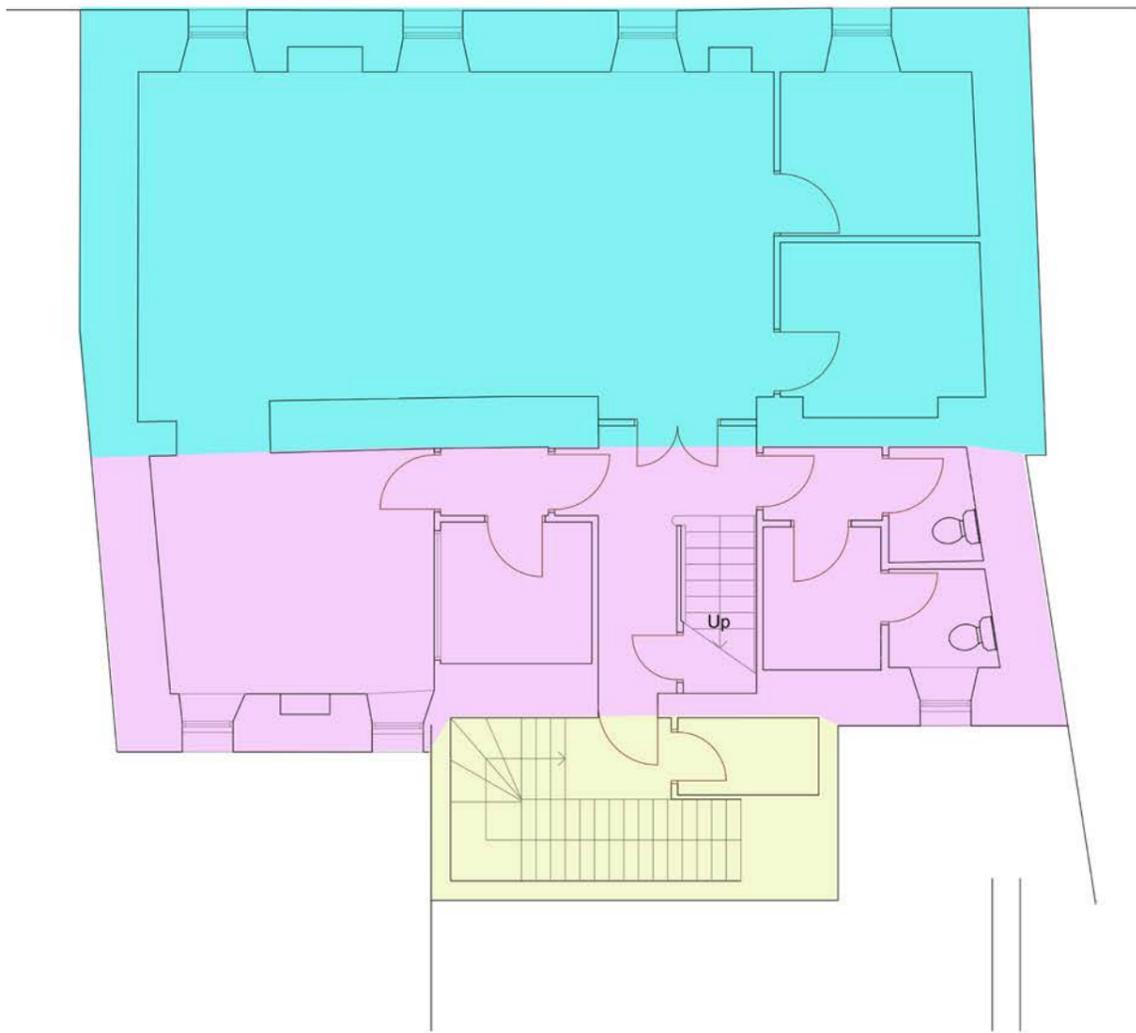
¹ ZM ARCHITECTURE. WEST DUNBARTONSHIRE COUNCIL (Re-generation, Environment & Growth) – Identification of Feasible New Uses for Glencairn House (2017), section 1.3
² As 1 above



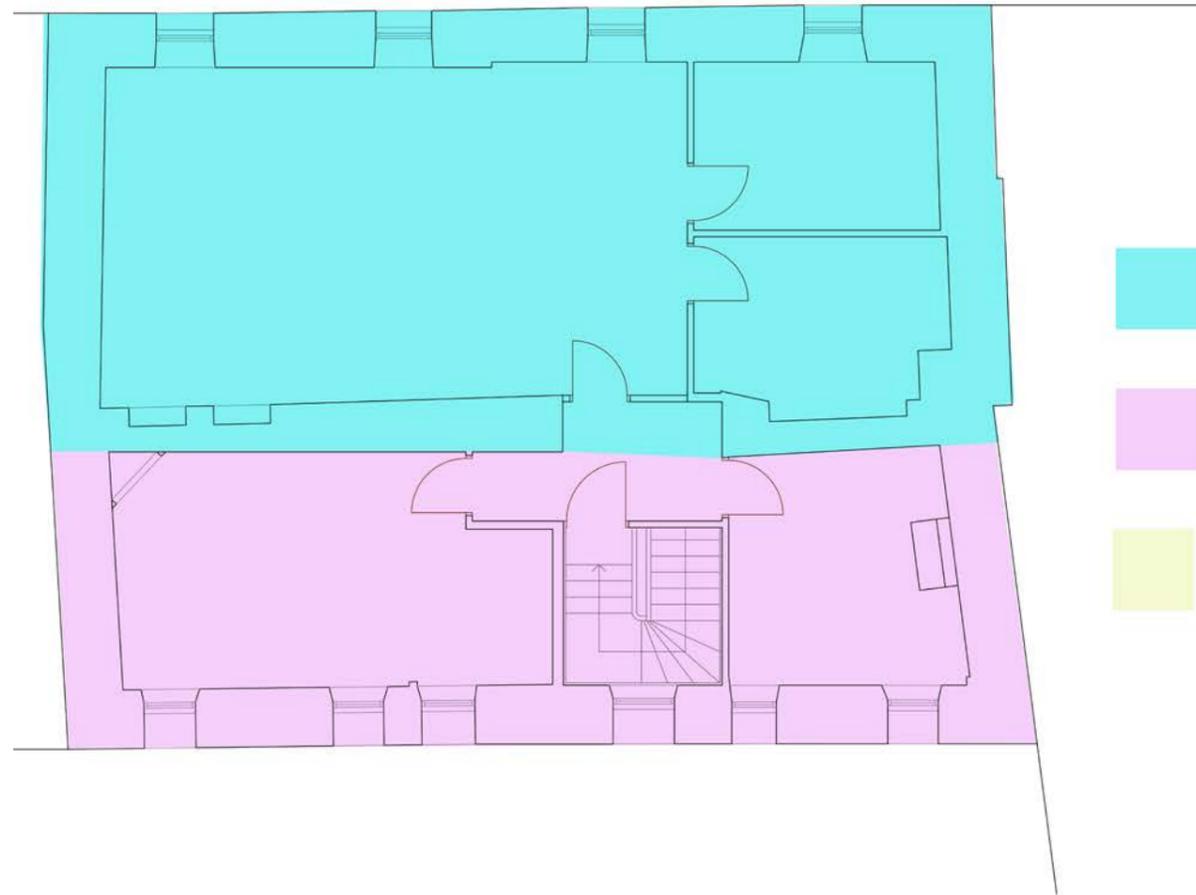
Existing ground floor plan

This page: Existing ground floor plan indicating phases of development.

Plans supplied by West Dunbartonshire Council. Some further strip out works have taken place so a detailed building survey will need to be carried out in due course.



Existing first floor plan



Existing second floor plan

-  Original footprint of 1623 townhouse
-  19th century extension
-  20th century extension

The 1818 John Wood map of Dumbarton shows Glencairn House having a similar depth in plan as it's neighbour. The 1859 OS map of Dumbarton clearly shows Glencairn House having a deeper plan than its neighbour to the west. The adjacent buildings may have changed also but it could be suggested that the 19th century extension was constructed between 1818 and 1859.

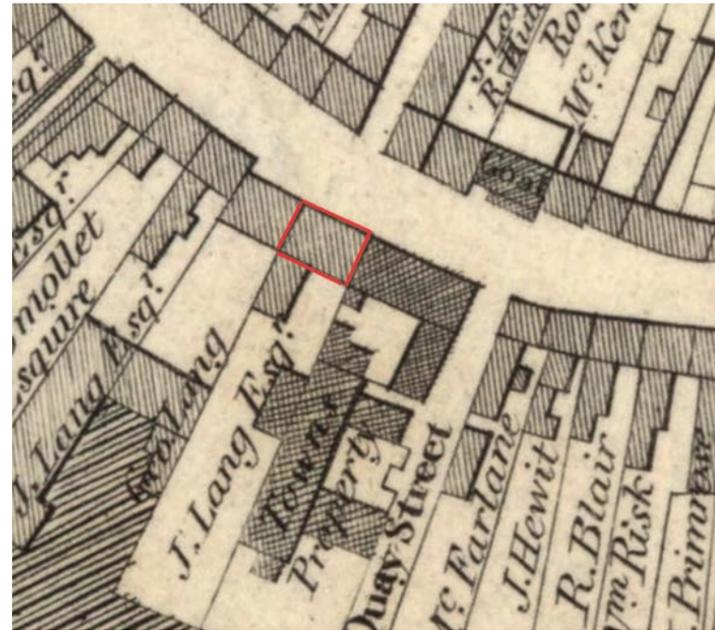
A small stairs within the 20th century extension takes you up to the first floor where there is currently one large space to the front of the plan and two smaller spaces either side to the rear of the plan. There is a similar arrangement at second floor.

Extensive fabric repair works were carried out in 2017 to prevent further deterioration to the building. The works included strip out internally, extensive rot works, guano removal, installation of replacement timber sash and case windows and cast iron rain water goods, renewal of roof timbers, new slated roof, snow guards and lead works, doff clean of the stonework façade and lime mortar repointing. No works were carried out to the 20th century extensions which are currently in a poor condition with evidence of water ingress and rot.

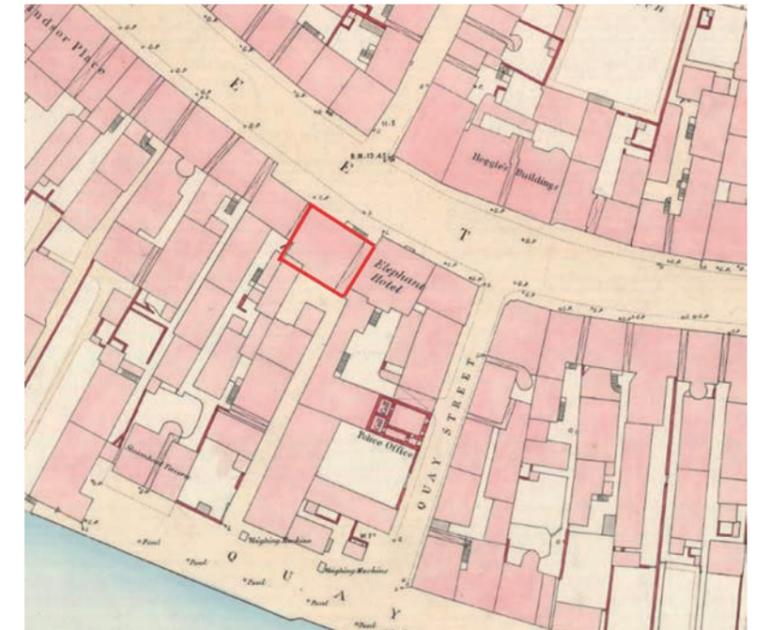
Top left: 1820 John Wood map of Dumbarton with Glencairn House outlined in red

Top right: 1859 OS map of Dumbarton with Glencairn House outlined in red

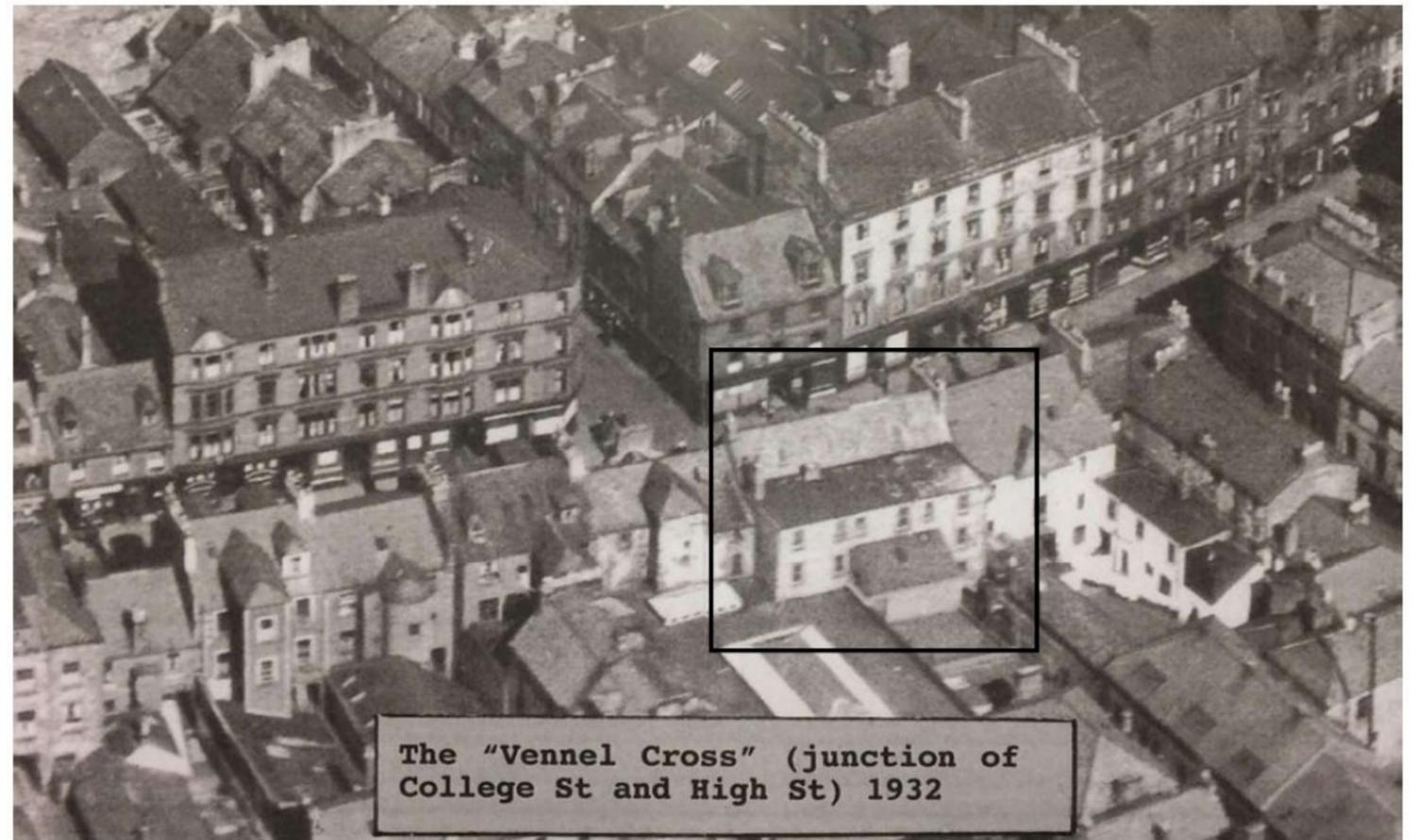
Maps reproduced with the permission of the National Library of Scotland



1818 John Wood map



1859 OS map



Bottom: Aerial view of Dumbarton from 1932. Image referenced from ZM ARCHITECTURE. WEST DUNBARTONSHIRE COUNCIL (Regeneration, Environment & Growth) – Identification of Feasible New Uses for Glencairn House (2017), p18

4

Statement of Significance

Statutory listing

Listing is the process that identifies, designates and provides statutory protection for buildings of special architectural or historic interest as set out in the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997.

Glencairn House is Category B listed. The listing covers the whole building, including the interior and exterior, at the statutory address on the listed building record; HIGH STREET, GLENCAIRN TENEMENT (GAS BOARD OFFICES)

It was first listed on 03/03/1971. The listing reference number is LB24887.

The listing text notes:

"Dated 1623 on dormerhead but possibly incorporating some earlier fabric. 3-storey 4-bay town house. Coursed squared rubble. Round-arched pend to left with shaped stone over keystone; 3 taller round-arched openings inserted 1924-5 fill remaining bays. Windows above have 12-pane sashes and moulded reveals; central rectangular plaque-recess at 1st floor; continuous string above: 2nd floor windows have broken pedimented dormerheads with spike finials. Crow-stepped gables; rebuilt end stacks; slate roof. Extended to rear in 19th century."¹

The Statement of Special Interest accompanying the listing text notes " Category B only because of altered ground floor. Modern plaque on central column inscribed "formerly the town residence of the Earl of Glencairn and the Duke of Argyll. Acquired by the Town Council of Dumbarton in 1924."

In addition to planning permission, listed building consent is required for changes to a listed building which affect its character as a building of special architectural or historic interest.

Category B listed buildings are defined by Historic Environment Scotland (HES) to be "of regional or more than local importance; or major examples of some particular period, style or building type, which may have been altered."

¹ Historic Environment Scotland. Date unknown. HIGH STREET, GLENCAIRN TENEMENT (GAS BOARD OFFICES) [ONLINE] Available at: <http://portal.historicenvironment.scot/designation/LB24887> [Accessed 08 September 2021].

Assessment of Significance

This section of the report seeks to introduce a framework for assessment of each of the building components, in turn providing a platform to establish which elements are of greatest importance and should be retained, and areas where opportunities for change may exist.

The purpose of this section is to provide an initial assessment of the significance of the site and building. The separate elements identified in the following tables are graded to indicate their level or degree of significance. The condition and integrity of each part contributes to the grading of significance, though for the most part significance is not downgraded where the element is capable of repair and restoration.

There should be an underlying conservation approach to all work undertaken to listed buildings, both now and in the future, with elements of 'exceptional' or 'considerable' significance being carefully conserved without detrimental adaptation. Intrusive elements should be removed as far as is reasonably practicable. In terms of change to the context of listed buildings, this should have due regard to the impact of such change in relation to townscape and landscape setting and also the individual visual integrity of the listed building concerned.

A conservation-oriented approach does not imply that there should be no change. Indeed, long term conservation of historic buildings often requires change to facilitate their ongoing use, compliance with statutory legislation and fitness for purpose. In many cases such change will involve adaptation and extension to facilitate the servicing of the original building whilst minimising the impact on the original historic fabric and architectural integrity.

It is also important to understand that virtually all sites and buildings evolve and change to suit the technical, social and legislative requirements of each generation. There are virtually no historic buildings, even in the Category A listed group, which remain unaltered. What is important is that there is a thorough understanding of the original fabric, design intent and previous change in order that new proposals maintain a continuum which is a 'natural' part of the evolutionary process. This is conservation in its most genuine form.

In undertaking a relative Assessment of Significance, the various elements are measured against seven criteria:

1. Townscape / Landscape
2. Historical
3. Architectural
4. Social
5. Cultural
6. Aesthetic
7. Artistic

The following definitions indicate the different degrees of significance and the tables on the following pages provide an assessment of significance in relation to the various elements of the heritage asset.

EXCEPTIONAL SIGNIFICANCE

An element of national or international importance either architectural or historic, or fine little-altered examples of a particular period, style or building type.

CONSIDERABLE SIGNIFICANCE

An element of regional or more than local importance in terms of style or building type, or elements of national importance which may have been altered.

MODERATE SIGNIFICANCE

Elements of local significance or of regional importance, which have been compromised by alteration.

LITTLE / NEUTRAL SIGNIFICANCE

Elements of relatively little significance, which may include additions or elements made to accommodate changing requirements. Some of these elements may be expedient and ephemeral. In some cases, their impact on the building can range from neutral to moderately intrusive.

DETRIMENTAL

Modifications or extensions to the original building considered to be of poor quality and detrimental to the original architecture. These elements should be carefully removed to reinstate the original intent.

Element	Description	Value	Grading
Front elevation	As listing text on previous page. Stonework has been cleaned and repointed and is in good condition.	Townscape Historical Architectural	CONSIDERABLE Original 17th century fabric, however significantly altered in 20th century.
Ground floor shop windows and entrance	Round-arched openings inserted in 1924-5. Painted timber framed shop windows with recessed entrance door and mosaic tiling with the initials DGC (Dumbarton Gas Company).	Townscape Architectural	NEUTRAL Later insertion
Quay Pend	Originally connected High St. to the quay to the rear of Glencairn House. Coursed rubble stone vault.	Townscape Historical Architectural	EXCEPTIONAL Original 17th century fabric. Important historic route.
Upper floor windows	12-pane sashes. 4no at first floor with moulded stone reveals. 4no. at second floor with decorative stone pediments to dormers.	Townscape Architectural	NEUTRAL Appears to be as per original composition including stone detailing, however windows were replaced in 2017.
Roof coverings	Appears to be slate (when viewed from ground level) with vent tiles at high and low level and snow guards. Note: Chimneys to front elevation were removed circa 1925.	Townscape Architectural	NEUTRAL Modern materials, replaced in 2017

Element	Description	Value	Grading
Rainwater goods	Replacement cast iron gutters, no visible downpipe on front elevation, gutter appears to discharge into neighbouring building. 2no. downpipes visible on rear elevation.	Architectural	NEUTRAL Modern materials, replaced in 2017.
Rear extensions	Part 2-storey, part 1-storey extension to rear dating from early 20th century. Masonry walls with render finish externally. Stairs to first floor housed in 2-storey extension with fire exit at ground. Evidence of rot and subsidence.	Architectural	DETRIMENTAL Building fabric in poor condition.
Rear elevation	Painted timber double entrance doors with shiplap detail. Do not appear to be original based on archive drawings. In refurbishable condition.	Architectural	NEUTRAL
Rear elevation	Coursed random rubble with dressed stone to window reveals. Windows of different sizes. Largely obscured by existing extensions and neighbouring buildings.	Architectural	NEUTRAL
Ground floor rooms	Large double height space bisected by central masonry structural wall. 3no. large openings in central wall mirroring openings on front elevation. No remaining finishes.	Architectural	NEUTRAL This area of the building was altered in the 1920s to form gas showroom.

Element	Description	Value	Grading
First floor rooms	Stairs in extension brings you up to 3no. rooms at first floor. All finishes have been stripped out. Stone / brick walls visible with modern steel straps tying party wall to front elevation and central structural wall. Floor structure above visible and modern timber rot repairs visible. Modern double doors to front room. Painted timber mantelpiece to blocked up fireplace. Electrical distribution boards to rear room (west). Modern toilet to rear room (right). Stairs to second floor.	Architectural	NEUTRAL Little 17th century fabric remaining aside the walls.
Second floor rooms	Timber stairs within first floor brings you up to 3no. second floor rooms. All finishes have been stripped out. Stone / brick walls visible. Significant structural repairs have been carried out to the roof. Some sections of original timber remain with roman numeral markings. Modern timber wall plates have been bolted to the walls to support new timber trusses. Modern steel straps tying party wall to front elevation and central structural wall visible.	Architectural	NEUTRAL Little 17th century fabric remaining, aside the walls and some roof timbers.
Attic	Attic was not accessible, but viewed from second floor substantial structural works have been carried out on original roof structure with majority being modern replacement timbers.	Architectural	NEUTRAL



Second floor, front room



First floor, front room



Ground floor, front room



DGC mosaic in entrance



Front elevation



Rear elevation with 1930s extension on left



Quay Pend

5

The Brief

Glencairn House Library brief

Glencairn House will be a public lending library and a local history museum. The existing Dumbarton library at Strathleven Place will be relocated to Glencairn House. The local history archives will remain at Strathleven Place and be redeveloped as part of a separate project. The building should provide flexible layouts capable of meeting modern user requirements whilst being sympathetic to the historic character of the building.

The library services moving to Glencairn House are:

Main adult lending library

The same level of stock as currently held at Dumbarton Library is to be accommodated. Linear metres of shelving required = **500m** (target, subject to space available)
There should be comfortable places to sit throughout.

Teen's area

This is primarily used for study.
Linear metres of shelving required = **50m**

Children's library

This should include book stock, but also space for activities such as Book Bug, Rhyme Time, reading, singing, craft, etc. It is a messy, noisy space. It should be exciting and fun. It is better if it is separate from the main library and should be a safe space. Family friendly seating should be provided for adults and kids. Access is important so ground floor is the best location for it. Buggy parking area should be provided.
Linear metres of shelving required = **200m**

Digital access

Fixed PC terminals are to be provided for internet access:

- 13 fixed terminals for adults
- 2 fixed terminals for teens
- 2 fixed terminals for juniors

Scanning, printing, and photocopying facilities are also be provided.

- 6no scanners for adult PCs
- Printing and photocopying from a single multi-purpose unit positioned relatively close to the staff position to enable print release and assistance.

Wi-Fi should be provided throughout.

Private meeting room / community room

The meeting room should have capacity for 10-12 people. Potential cross over with space required for museum workshops and events.

Staff room & staff WC

MacMillan space

This includes a display stand with information leaflets and somewhere to sit and engage with peer-to-peer support. This happens at specific times during the week so A dedicated space is not required.

Desk

The desk is a fixed point for information and assistance as well as issue / renewal / returns of books. Two workstations with PCs should be provided. The desk does not need to be front and centre but should be easy to find.

Café

This is not a commercial café, but simply somewhere to sit within the library where you can have a cup of coffee and read a book. It should not compete with the High St. cafes. It should look professional and be more than a vending machine. A large seating area is not required. A café feeling without a full café service.

Public unisex toilets

Toilets should be provided in line with the Building Regulations minimum provision. A Changing Places Toilet or similar enhanced provision should be considered if space allows.

Storage

The archive will remain at Strathleven Place and does not need to be accommodated at Glencairn House. Some storage for arts and crafts materials for the children's library is required. This could be shared with the museum.

Flexibility is key. Large flexible spaces, within the limits of the existing building plan, will allow for a variety of services to be provided.

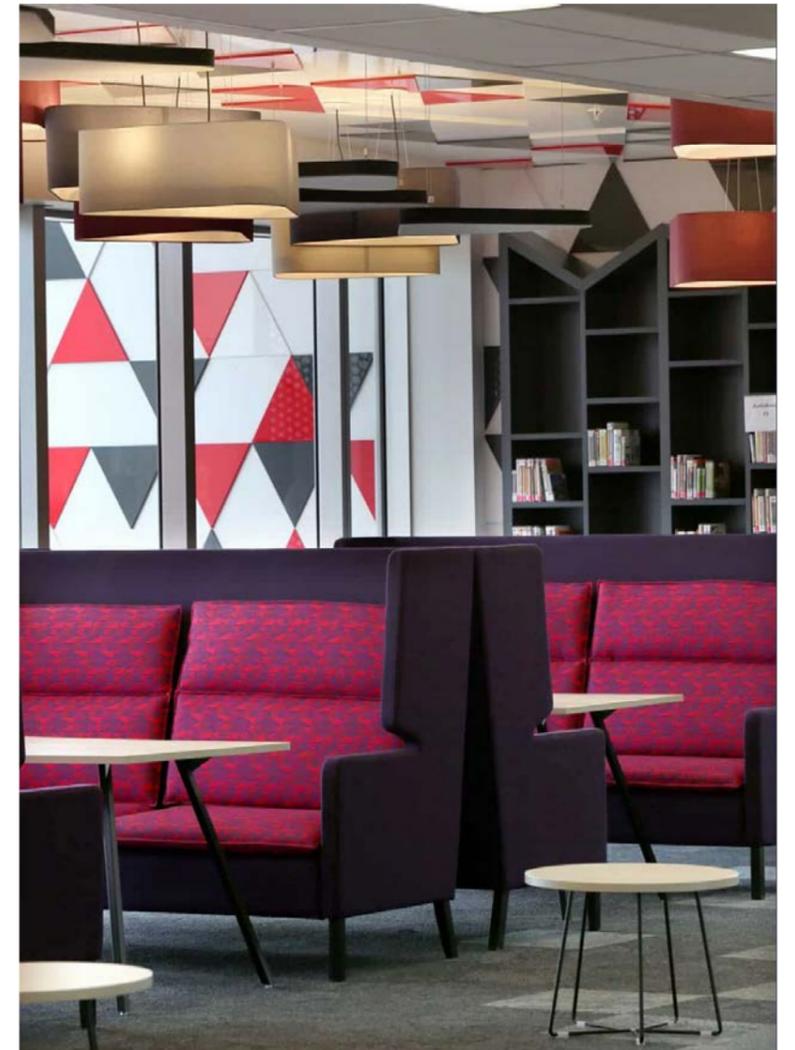
The library and museum should be integrated, but also have clearly defined spaces. Shared meeting spaces and storage is possible.

The historic character of the existing building should be retained, but the extension should feel contemporary. **It should have the 'wow factor' from the riverside.**

References

Ipswich Libraries in Queensland and Suffolk. These libraries include innovative services such as the Karralee self-service Pod which is open 24 hours a day, 7 days a week. Visitors can access books in a vending machine style approach. The children's libraries include storytelling trees, playful interactive furniture and lifesized dinosaurs hanging from the ceiling! Study booths, modern relaxed furniture and pendant lighting are provided throughout.

"The building should create opportunities for storytelling."



Glencairn House Museum brief

The museum will not provide a chronological history of Dumbarton. The aspiration is to display key objects from the collection and use these to tell different stories about Dumbarton.

The museum display should be integrated throughout the building and not shut away behind closed doors.

In terms of display, the objects can be divided into four categories:

Cased - Museum standard display cases

1. Roman Medallion
2. Skellat Bell
3. Weights and measures
4. Dixon jugs X 2
5. Glass ship
6. Glass obelisk
7. Glass bottle
8. Glass turtle frigger
9. Dumpy bottle
10. Glass walking stick
11. Dumbarton Glassworks mallet
12. Glassworks bible
13. Denny Bros Silver Neff
14. Cutty Sark log book - TBC
15. Library Registration Book - TBC
16. Cooperative Bakery key
17. Dubonnet Cup

Wall mounted

1. Dixon portraits
2. Townscape
3. MacMillan portrait
4. Conroy portraits of Margaret Harrison and Elisabeth Burnett

Facsimile - no case required

1. Royal Charters
2. Freedom of the Burgh ticket
3. Cutty Sark log book - TBC

Digital

1. Royal Charters
2. Freedom of the Burgh ticket
3. Cutty Sark log book - TBC
4. Cooperative Bakery key (to share photographs)

Each object needs its own setting. The objects themselves are stable and could be exhibited throughout the building.

The public should feel at ease to explore the building – the building should encourage a journey of discovery encountering objects, information,

views, etc. along the way. The museum should not be closed off behind a door where no one knows it is there.

Everyone should feel welcome. The building should be inclusive, accessible and encourage participation. The building should not be intimidating.

A 'museum feel' is important.

The ground floor is important in terms of catching people's attention, making them curious about what is inside.

The museum will signpost to other attractions in West Dunbartonshire. The objects might just start the story but lead on to other places in the town.

Temporary exhibition

There will be a fixed display (or long-term display) of the key objects, but the option to have incidental display areas throughout the building where community contributions could be displayed is desirable e.g., personal stories and objects, or where other items from the collection can be displayed. These displays would be temporary and change throughout the year.

Security

There will be no invigilators. CCTV is required.

Interpretation

High tech interpretation material is not currently proposed e.g., VR. Traditional interpretation material will be integrated into the exhibition. This will be developed by an exhibition designer in due course.

Community space

A community space is required for events. It needs to be flexible. It needs to have a sink.

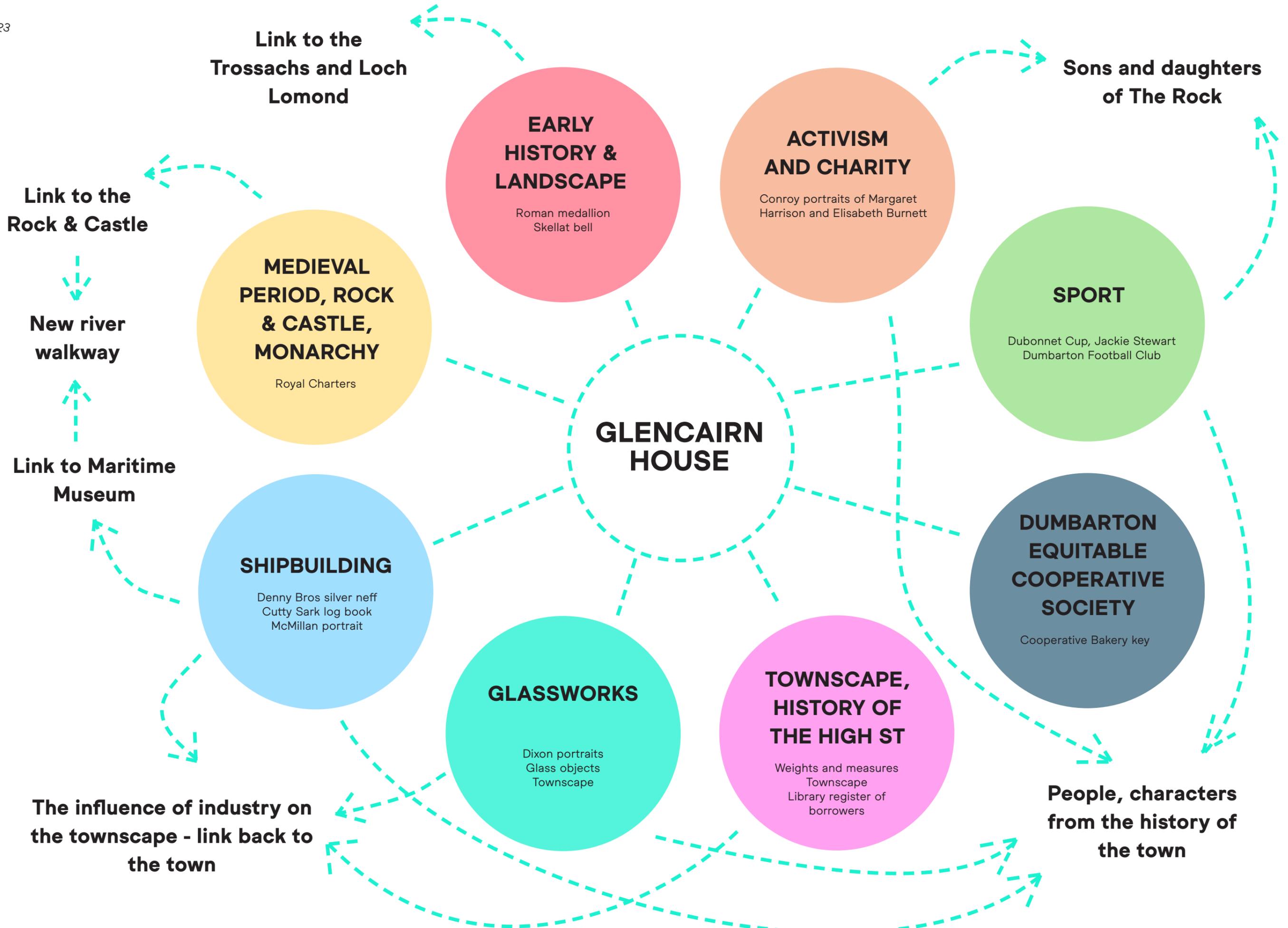
Local history

The archives and research area will remain at Strathleven Place so separate space is not required at Glencairn House. However, local history workshops may be run at Glencairn House using online material.

Staff

A staff room is required. This can be shared with library staff. There will be no museum staff permanently working in Glencairn House so an office is not required.

"The building should be a journey of discovery."





Schedule of museum objects

01 - Roman Medallion

Interpretation themes: Early history of West Dunbartonshire; landscape; geography.

Display requirement: Cased

Dimensions (mm): 40mm diameter



02 - Skellat Bell

Interpretation theme: Early Christian period; Christianity in the west of Scotland; Loch Lomond and the Trossachs National Park.

Display requirement: Cased

Dimensions (mm): 260h x 230w x 200d



03 - Weights and Measures

Interpretation themes: History of the High Street; tollbooth/town centre; linking into the story of Glencairn House

Display requirement: Cased

Dimensions (mm): 140h x 160w x 110d



Schedule of museum objects

04 - Royal Charters

Interpretation theme: Medieval Period; Rock & Castle; Mary Queen of Scots; James VI

Display requirement: Facsimile / digital OR displayed on a rotating basis TBC

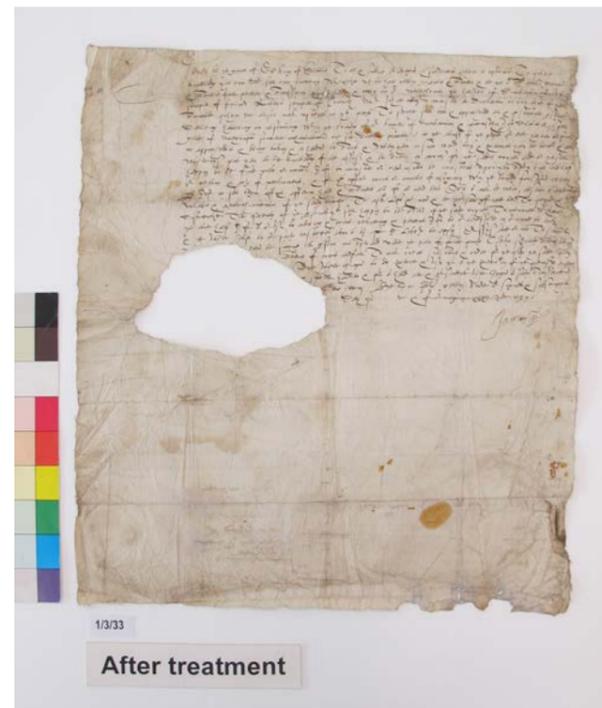
Letter under the Privy Seal of King James III to the Sherriff of Dumbarton... May 1488
Dimensions: 31.5x38.5cm

Charter of King James V in favour of the said John Palmer: February 1517/18
Dimensions: 49x49cm

Commission of Mary of Guise, Queen Regent, to the towns of Stirling, Glasgow and Dumbarton to try the case of Hemon Blondel, September 1566
Dimensions: 35.5x30cm

Letter from King James VI to the Bailies and Council of Dumbarton, 13th December 1592
Dimensions: 40.5x29cm

Commission by King James VI to the Bailies of Dumbarton to apprehend and try persons suspected of witchcraft 1597
Dimensions: 47x41.5cm



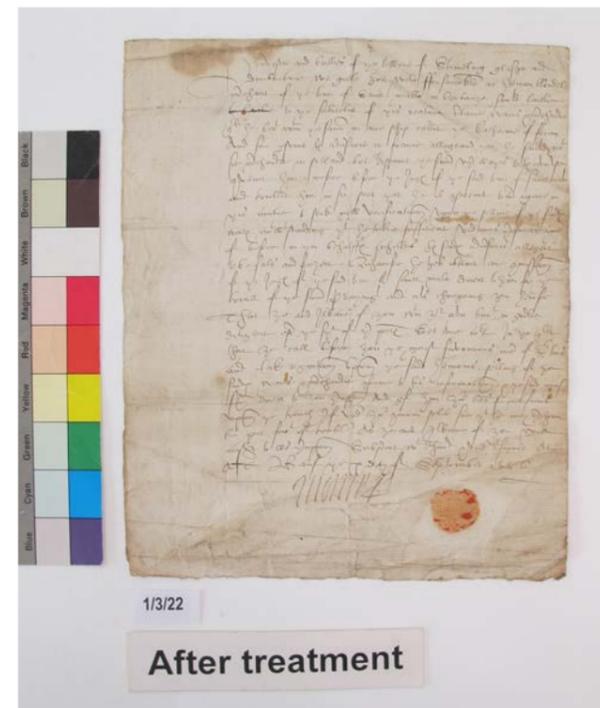
Commission by King James VI 1597

Royal Charters cont.

The charters form part of the extremely limited surviving documentary history of Dumbarton in the 15th and 16th century and provide an account of the Burgh's dealings with the monarchs of the time, ranging from the everyday settling of disputes to the extraordinary Royal Commission from King James VI allowing the Bailies of Dumbarton to seize, torture and try suspected witches.

They include:

- Letter under the Privy Seal of King James III to the Sheriff of Dumbarton exempting the Burgh and its inhabitants from all muster in May, 1488. The earliest royal charter held by WDC;
- Charter of King James V in favour of John Palmer of the little customs of Dumbarton. February, 1517/18;
- Commission of Mary of Guise, Queen Regent, to the towns of Stirling, Glasgow and Dumbarton to try the case of Hemon Blondel, merchant of St Malo. September, 1566;
- Letter from King James VI to the Bailies and Council of Dumbarton, signed by the King at Holyrood on 13th December, 1592;
- Commission by King James VI to the Bailies of Dumbarton to apprehend and try persons suspected of witchcraft. 1597.



Commission of Mary of Guise 1566

05 - Joseph Dixon portrait

Interpretation theme: Story of the glassworks; the Dixon family

Display requirement: Wall mounted

Dimensions (mm): 1220h x 1100w



06 - John (I) Dixon portrait

Interpretation theme: Story of the glassworks; the Dixon family

Display requirement: Wall mounted

Dimensions (mm): 920w x 1070h

**07 - John (II) Dixon portrait**

Interpretation theme: Story of the glassworks; the Dixon family

Display requirement: Wall mounted

Dimensions (mm): 920w x 1060h

**08 & 09 - Dixon jugs (x2)**

Interpretation theme: Story of the glassworks; the Dixon family

Display requirement: Cased

Dimensions (mm): 350w x 345h



Schedule of museum objects

10 - Glass Ship

Interpretation theme: Story of the glassworks; the Dixon family

Display requirement: Cased

Dimensions (mm): 160w x 190h



11 - Glass Obelisk

Interpretation theme: Story of the glassworks; the Dixon family

Display requirement: Cased

Dimensions (mm): 120w x 120d x 370h



12 - Glass Bottle

Interpretation theme: Story of the glassworks; the Dixon family

Display requirement: Cased

Dimensions (mm): 340h x 200h



13 - Glass Turtle Frigger

Interpretation theme: Story of the glassworks; the Dixon family

Display requirement: Cased

Dimensions (mm): 70w x 160l



14 - Dumpy Bottle

Interpretation theme: Story of the glassworks; the Dixon family

Display requirement: Cased

Dimensions (mm): 110w x 165h



15 - Glass Walking Stick

Interpretation theme: Story of the glassworks; the Dixon family

Display requirement: Cased

Dimensions (mm): 1150h x 70w



Schedule of museum objects

16 - Dumbarton Glassworks Mallet

Interpretation theme: Story of the glassworks; the Dixon family

Display requirement: Cased

Dimensions (mm): 330h x 140x 90d

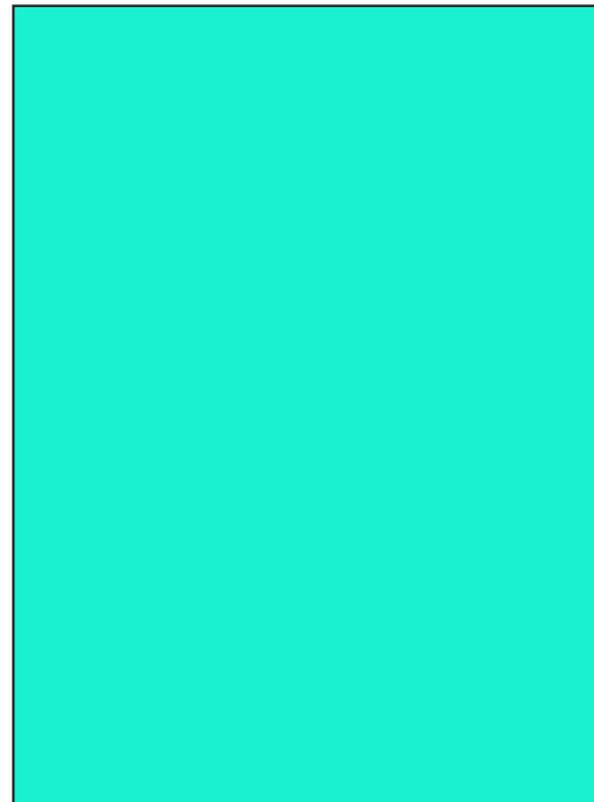


17 - Glassworks Bible

Interpretation theme: Story of the glassworks; the Dixon family

Display requirement: Cased

Dimensions (mm): 140h x 85w x 25d



18 - Townscape (Dumbarton in glassmaking days)

Interpretation themes: Glassworks; changing townscape

Display requirement: Wall mounted

Dimensions (mm): 850h x 1500w

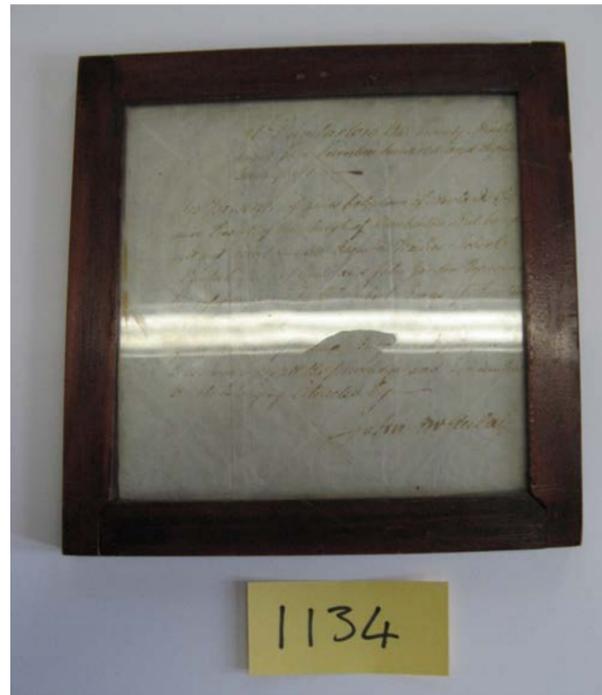


19 - Freedom of the Burgh ticket

Interpretation theme: Robert Burns' connection with Dumbarton

Display requirement: Facsimile / digital

Dimensions (mm): 290h x 290w

**20 - Denny Bros Silver Neff**

Interpretation themes: Shipbuilding heritage of Dumbarton; Denny's shipyard; Levensgrove Park

Display requirement: Cased

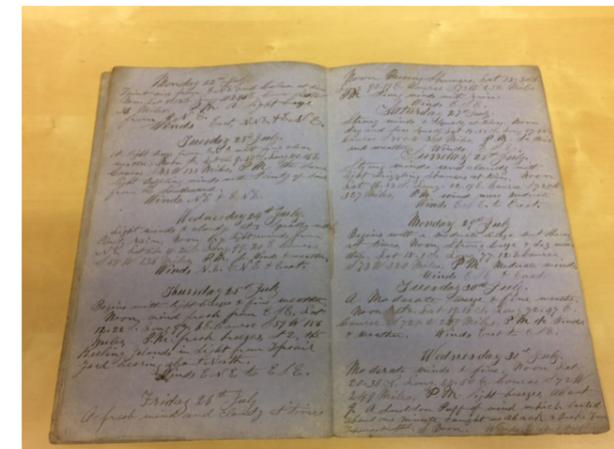
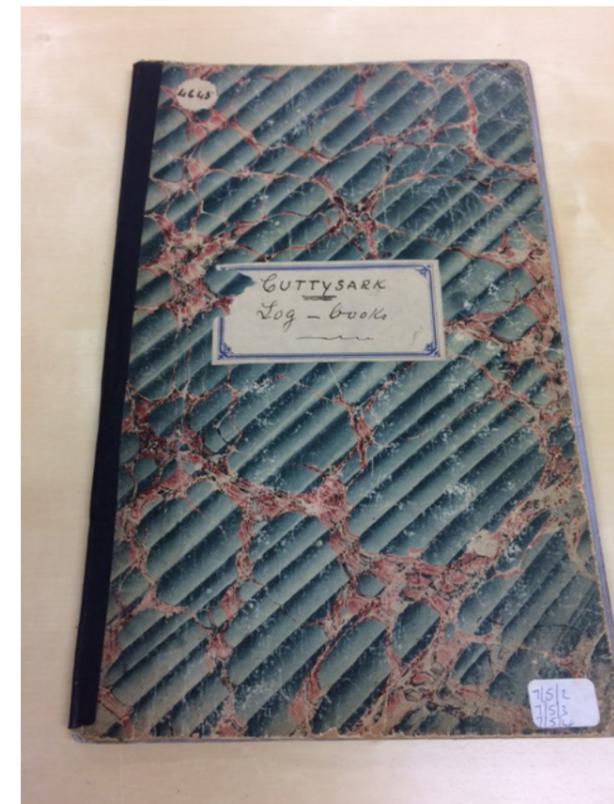
Dimensions: 700h x 490w x 160d

**21 - Cutty Sark Log Book Shanghai to London 1872**

Interpretation themes: Shipbuilding heritage; Denny's shipyard; Scottish Maritime Museum

Display requirement: **Facsimile? Cased & light-control? TBC**

Dimensions: Closed: L32cms x W20.5cms
Open: L32cms x W40cms



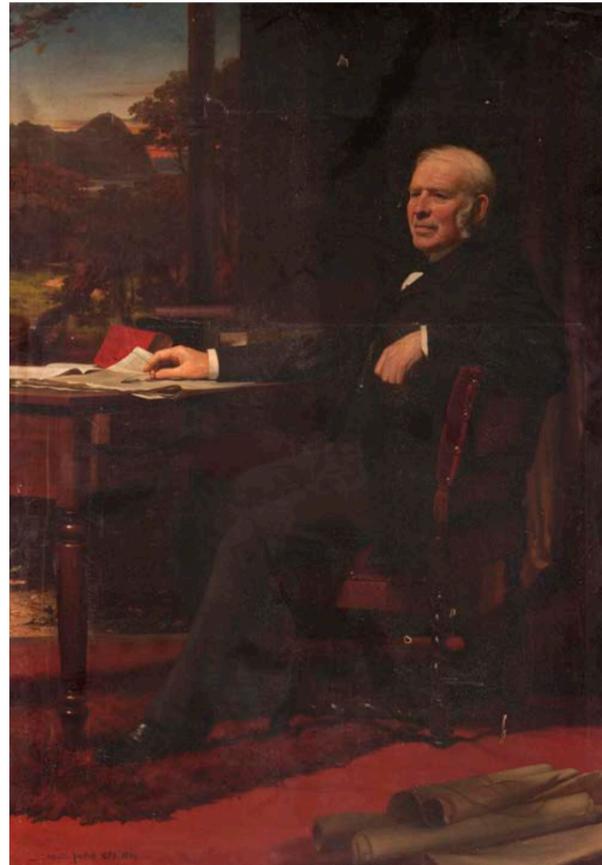
Schedule of museum objects

22 - MacMillan portrait

Interpretation themes: Shipbuilding heritage; MacMillan's shipyard; Levensgrove Park

Display requirement: Wall mounted

Dimensions (mm): 1680w x 2290h

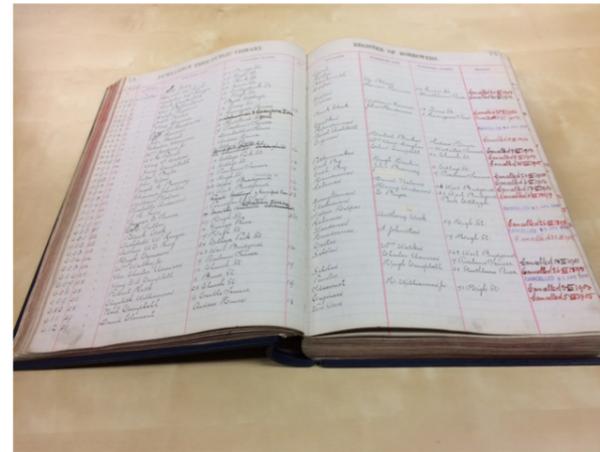


23 - Library Register of Borrowers 1884-1925

Interpretation themes: History of the library; linking to history of the High Street

Display requirement: **Cased and light control? TBC**

Dimensions: Closed: L39cms x W27cms x D7cms
Open: L39cms x W54cms



24 - Cooperative Bakery key

Interpretation themes: Story of Dumbarton Equitable Cooperative Society – one of the earliest co-ops. Supporting photography in the local history collection; a story across the area; social history and history of the High Street.

Display requirement: **Cased; digital context to share photographs - TBC**

Dimensions: 145l x 40w



25 - Dubonnet Cup

Interpretation themes: Jackie Stewart – most famous Son of the Rock; motor racing

Display requirement: Cased

Dimensions: 450dia x 300h

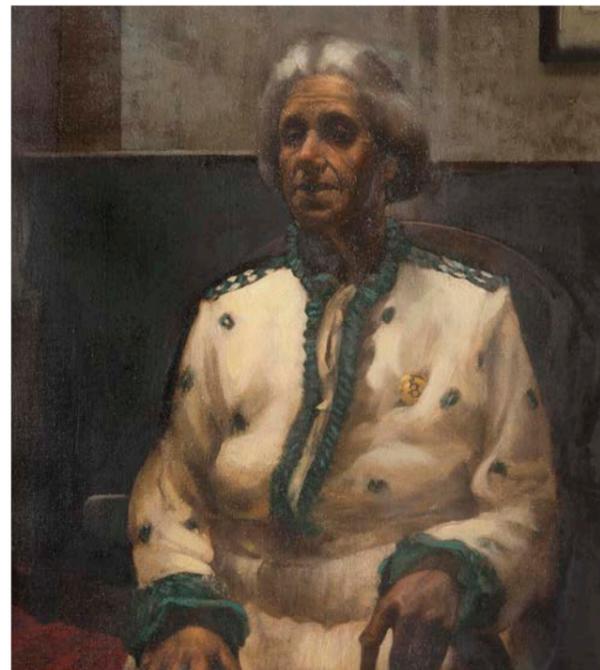
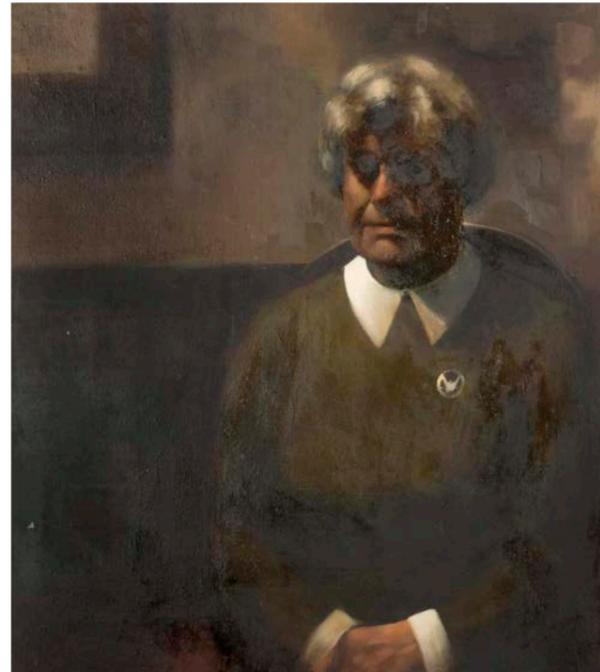


26 & 27 - Conroy portraits of Margaret Harrison and Elisabeth Burnett

Interpretation theme: Amnesty International; CND; Faslane Peace Camp

Display requirement: Wall mounted

Dimensions: Both: 1060h x 750w



28 - TBC

Interpretation themes: Dumbarton Football Club (celebrating their 150th anniversary in 2022) – intend to approach for an object loan; links to the history of football in WD and stories to be told in Alexandria Heritage Centre.

Display requirement: TBC

Dimensions:



Access

The building should be upgraded to be fully accessible, if possible within the limitations of the historic fabric.

This should include a new lift and regulation compliant stairs.

Accessible WC in line with Building Regulation requirements should be provided. A Changing Places WC, or enhanced provision, should be provided if possible.

Visual contrast, dropped counters, hearing induction loops, etc should be integrated in line with the Building Regulation minimum. There is no requirement to comply with an other specific standard in relation to accessibility.

The building should be upgraded to be as inclusive and accessible as possible.

Security

There is no requirement to comply with the Government Indemnity Standards for borrowing objects.

CCTV should be provided throughout the building.

Enhanced security measures to protect the museum objects are not required. Examples of enhanced security measures include integrating steel mesh into walls and floors, movement sensors on walls to detect vibrations, steel security doors to PAS standards, etc.

Client to confirm security brief with insurers.

Environmental controls

The building does not require environmental controls e.g. humidity control.

Museum objects will be contained within museum standard display cases. The cases will not have integrated environmental controls as the objects are stable. The paintings are suitable to hang within the building without environmental control or UV protection.

Parking

Given the town centre location, there is no requirement to provide car or bike parking on site. This is subject to agreement with the planning authority.

Schedule of rooms

Room name	Area	Notes
Adult lending library		500m linear metres of shelving Shelving to be on castors to allow flexibility Comfortable seating
Library desk		Located in adult lending library 2no. workstations
Children's library		200 linear metres of shelving Seating for adults and children Area for activities Interactive features e.g. storytelling tree Buggy parking area
Teen's area		50 linear metres of shelving Study desks Comfortable seating
MacMillan area		Display stand within lending library Seating area nearby
Digital access area		13no. fixed PC terminals for adults, 2no. for juniors, 2no. for teens 1 no. photocopier / printer at desk 6 no. scanners (adults area)
Community room / meeting room		Shared between library and museum Capacity for 10-12 people as meeting room 1no. sink Storage for art & craft materials
Cafe		Servery counter No kitchen Seating shared with library
Staff room		Shared between museum and library staff Kitchenette Seating area for breaks Lockers?
1no. staff WC		
Public unisex WC Baby changing		Numbers TBC depending on occupancy levels
Changing Places WC		Subject to space restrictions
Museum display areas		In various locations throughout building

Notes:

Areas TBC subject to space available in existing building

New passenger lift for 8 people.

New stairs and circulation generally.

No archive or storage as this will remain at Dunleaven Place.

No staff office.

Glencairn House

Regeneration brief

A new visitor gateway for Dumbarton is proposed to be formed by an 'Arc of attraction' that includes at its core the town's principal attractions: Dumbarton Rock and Castle, Glencairn House, the connecting Waterfront Path and the Scottish Maritime Museum. This proposal is described in detail in the "Dumbarton visitor gateway strategy action plan - final" completed in September 2020.

The western end of the Arc is "anchored on Glencairn House with a new heritage-based offer included in the proposed re-development. This will be a 'synoptic' centre for West Dunbartonshire, but with a focus on Dumbarton town's history and heritage. Supported by existing transport infrastructure and parking facilities across the town, its location on the High Street will enable access to other trails / walks through the town, down to the Leven riverside, through Levensgrove Park and along the Clyde waterfront."¹

Each of the attractions will provide a visitor welcome, orientation and signposting to the other attractions to some extent, in order to showcase Dumbarton's complete visitor offer.

The strategy suggests that "blending historic and contemporary, the oldest existing building on Dumbarton High Street, could be converted into a **modern and innovative learning and heritage hub**, potentially providing space for key collections, temporary exhibitions and community activities. Its location also means that it could anchor a series of heritage trails and signposted routes connecting Dumbarton's key heritage sites. As such, it could provide part of an outstanding welcome to first-time as well as returning visitors."¹

In relation to the architecture, the report notes "In terms of its look and feel, it is recommended that a **distinctly contemporary approach** be taken, reflecting Dumbarton's future, while being **influenced by its innovative industrial and craft heritage**."¹

In relation to the accommodation provided, the report notes "if a multi-function approach is adopted, the building would need to blend high-quality functional space for community uses, e.g. library and events, alongside engaging museum, exhibition and welcome spaces – supported and linked by a shared café, toilets and access facilities."¹

¹ Fourth Street and Chris Blandford Associates, 2020. Dumbarton visitor gateway strategy & action plan - final.

"Glencairn House is a crucial, transformational project for the town centre regeneration."

The report ¹ suggests the following could form the key elements of the project:

- **Library** – new community library developed to meet WDC’s specification and provide access for all in the heart of the town.
- **Community spaces** – flexible spaces for community uses, the extent and number of these to be balanced with need for library and museum space.
- **Museum** – distinctive space largely comprising collection-based displays, which could provide the “grand narrative” of Dumbarton’s history and context. Given the size of space it is advised that there is an emphasis on a limited number of key stories and messages including, possibly, the town’s craft and industrial past (e.g. glass ware, sewing machines, shipbuilding, aircraft carriers, whisky) up to the present day and potentially beyond, and its connections to the Rock and Castle and the Cutty Sark (being a key public recognition factor).
- **Event / Exhibition space** – option for a flexible space for a changing programme of exhibitions that could highlight key elements of the Council’s collections or smaller exhibitions developed in partnership with other bodies e.g. HES and the Castle collections, National Museum of Scotland. Also potentially used for events when not staging exhibitions. The space could provide a deeper dive into key stories associated with Dumbarton and Dunbartonshire.
- **Visitor ‘gateway’** – carefully integrated with the museum offer, this space could provide a welcome and orientation function and easy access to information for first-time visitors to Dumbarton, signposting them to the wider offer in Dumbarton and beyond.
- **Café and supporting facilities** – potentially a themed café space drawing on Dumbarton’s industrial past creating an instantly recognisable place for locals and visitors to meet.

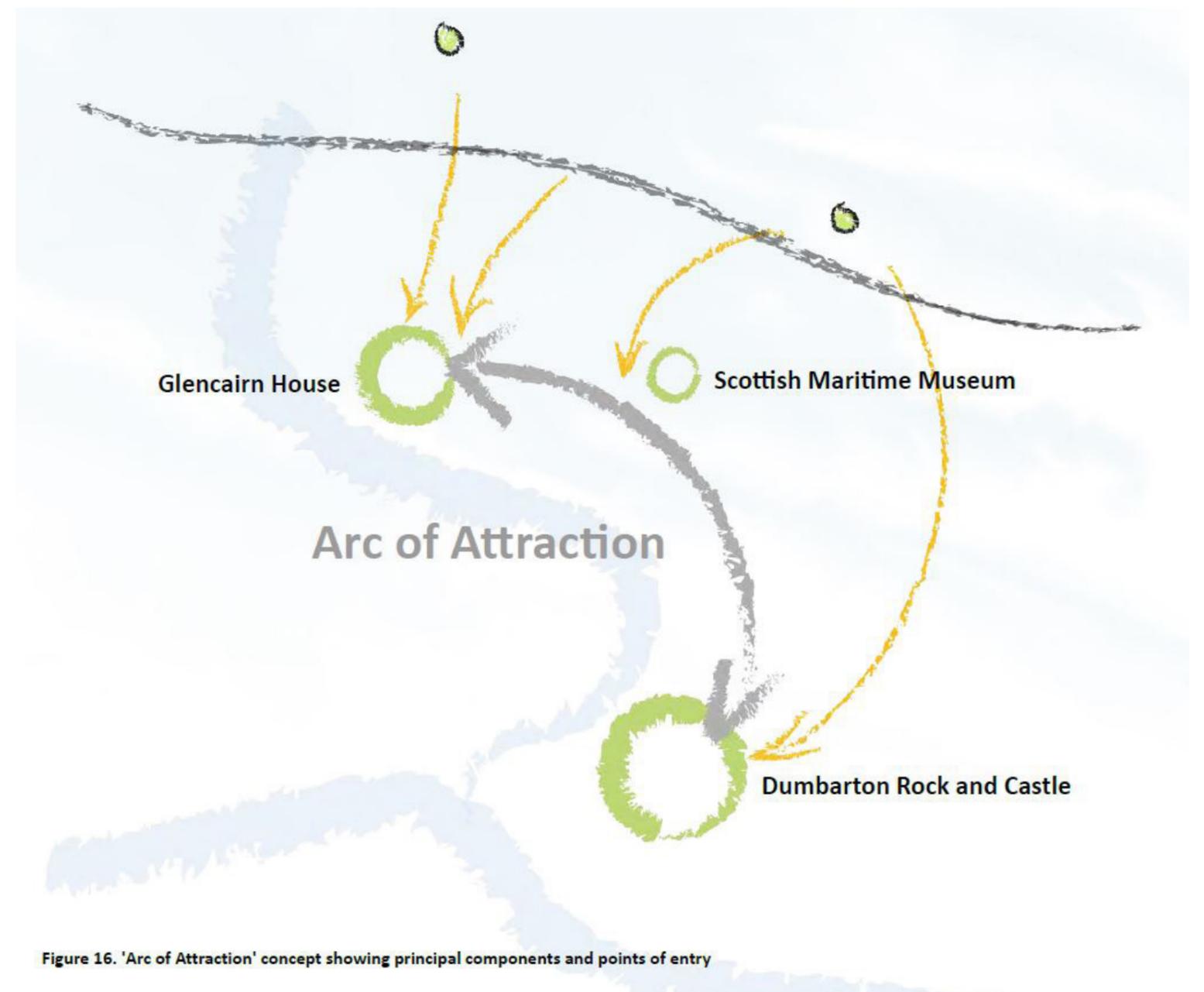


Figure 16. 'Arc of Attraction' concept showing principal components and points of entry

6

Strategic context

Page 206

Strategic Context – the town's regeneration

Glencairn House has a pivotal role in several areas of the town's current and future ambitions. It will be a:

- significant cultural asset
- provider of key public services to the community
- destination for visitors
- start/endpoint for the new pedestrian route to the Rock
- driver in the town centre's regeneration

Significant Cultural Asset

The town's story, historically and more recently, is an extraordinary one both in regional and national terms and is an asset that could be exploited to a much greater extent than at present. The impact of Dumbarton on the early history of Scotland as well as its significant industrial legacies, should be better known both locally and nationally. The redevelopment of Glencairn House provides a foundation for this, and creates an opportunity to undertake this on a town-wide scale as part of the ongoing regeneration.

While many of the significant artefacts from the civic collection can be displayed in Glencairn House, it may be helpful to reflect on a curatorial approach that considers the town centre itself as the attraction, with a distributed collection across several public buildings, extant and planned - telling the story of the town in venues across the town centre.

This might, for instance, look at key stages of the town's development:

- Pre-Industrial: Kingdom, Castle and the Kirk
- Industrial – Glass, Ships and Whisky
- Post Industrial – contemporary and future Dumbarton

In this context, Glencairn might focus, for example, on the Industrial age, and this would be reflected in the artefacts on display and associated stories told. Other buildings – including Council-owned (e.g. former library), planned public buildings (e.g. Health Centre) and others (e.g. churches) - would be identified that could host the artefacts and associated stories from the other stages.

Glencairn's role then becomes one of a cultural lever – the hub that directs to other parts of the town centre (and perhaps further afield i.e. Antonine Wall) – to reveal the more complex range

of stories of settlement within the area.

Provider of key public services to the community
At its heart, Glencairn House will remain a provider of two important and very public-facing services. The library and information services have needed to remain flexible in terms of operation and services offered in recent decades. While borrowing is always likely to remain a mainstay of the service it is anticipated that ongoing societal and technological changes will require the service to remain nimble in the way it adapts and responds to public demand. In that context, spaces and fitments within Glencairn should remain as flexible as possible – literally moveable, whenever possible.

First impressions are always important, and in this regard the space nearest the main entrance – and the windows looking into it - become key areas to set the tone and expectation of the environment visitors are likely to expect. Minimising the use of physical barriers (desk, counters, etc) and maximising a visible physical presence, therefore, become more important aspects of the daily operation. What do visitors see through the windows that reassures them this is a space that

would welcome them? The choice of furniture, décor and artefact will be crucial here and the configuration of this space requires careful deliberation – and, in operation, should be regularly reviewed as to how effective it is at attracting and retaining visitors.

Image: Manchester Museum's inflatable museum. An immersive temporary learning environment designed to bring the wonder and curiosity of Manchester Museum to school halls across Greater Manchester. The inflatable museum can be set up within a school for a set period of time and the pupils can handle real objects from the museum collection.





Glencairn House

Children's library site

Dumbarton Rock

This page: View from Riverside Lane showing rear elevation of Glencairn House, children's library site, riverside walkway and Dumbarton Rock

Destination for visitors

In combination with the other cultural assets of the town, Glencairn House should anticipate attracting visitors from outside the town. This will, most likely, be for the historic elements and stories, so the curatorial route around the building should consider how these stories will be told – in a linear narrative, or in a manner that looks to evoke place rather than period.

The architecture of the building – new and old – allows visitors to discover points of interest, some of which are revealed in surprising ways and locations. This should be a fun building for visitors to navigate, and care should be taken when locating some of the more permanent elements in order to maximise these moments (which will, of course, be good for the local visitor too).

As suggested above, Glencairn can become a hub from which to navigate the rest of the town. Artefacts and stories could, therefore, be chosen to whet the visitor appetite and point them in appropriate directions (some of which may be to other locations or books in the building). There are also practical issues around providing information that assist visitors more generally to enjoy their visit to the town/area and encourage extending or repeating their visit. This may require partnership with other information providers e.g. relevant Council services, HES, and Visit Scotland, and may require additional training for staff.

Start/endpoint for the new pedestrian route to the Rock

The vistas of the river and the firth from Glencairn House are exceptional, more so, when the new riverside path to the Rock is completed. When this route is marketed as one of the things a visitor must do in the town, there will be an expectation of a certain level of interpretation along its length (which is already under consideration/preparation) but also at the start/endpoint. This level/type of interest should be anticipated in Glencairn House, and encouraged as a reason for the visitor to come into the building.

There is likely to be an expectation, and certainly an opportunity, of certain services in addition to information – the provision of refreshment being the key one. Provision of tea, coffee and light refreshments should be considered partly as an additional income stream, but also as a service that will encourage visits and dwell time in the

building (which, of course, also applies to local and regular users too). There will be issue of potential displacement with local traders to be considered, but a modest level of provision is now more standard than not in visitor attractions of all types, including museums and libraries.

Driver in the town centre's regeneration

The various elements outlined above are all geared toward increasing footfall – resident and non-resident – in the centre of the town, with the consequent direct and indirect economic impact this is likely to have. Glencairn House will not achieve this on its own, of course, but if it is marketed as one of the anchor cultural projects in the town, and a must-visit venue for visitors, then its profile can play a disproportionately positive part in the attraction and retention of footfall to the centre of town.

Linking a visit to Glencairn House to a further visit to the Denny Tank (as part of the pedestrian journey to the Rock) will also be helpful in raising the profile of, and hopefully footfall to, that museum too. If its planned redevelopment is also realised this will without doubt increase the built cultural offer of the town, as well as its natural environment offer.

Operation

The proposals for Glencairn House's operational costs are founded on a cost neutral basis to the Council i.e. on the current level of subsidy. This should be possible once the operation is mature, however, a transitional budget should be considered that will allow activities and events, with associated marketing, to be provided in the year prior to opening and the first three years of the new operation. There will be a natural level of local interest that ensures visits in the first few years (the first in particular) are high – the programme of activities should be greatest during this period to ensure that the best possible impression is given of the new facility and that it is quickly established as a comfortable, safe, welcoming and exciting environment.

This process will be helped greatly by the new Children's Library. The location and style of this, as well as its safety aspects, are likely to prove extremely popular and there will be an opportunity to convert users of this facility (young and old) into users of the main building. To help this, occasional events should ensure there is a connection

between the two and ensure the main building is not considered an adults-only location.

Similarly, travel between Glencairn House and the proposed refurbished old library as a town archive should also be encouraged. As mentioned earlier, there is a terrific opportunity to create a thematically complementary (and linked) series of exhibitions, permanent and touring, that continue the theme of relating the story of the town and its people at this refurbished facility. An outline of the type of services can be found there should be located within Glencairn House.



Image top: Maritime Museum

Image bottom: Dumbarton Rock



Site context



Aerial view of site, retrieved from google maps

The site consists of the category B listed Glencairn House as well as a small brownfield site at the end of Quay Pend opening onto Riverside Lane.

The site is bounded to the north by High St., the main shopping street in Dumbarton. To the south is Riverside Lane beyond which there is an area of carparking, the riverside walkway leading to Dumbarton Rock and the River Leven. To the east is the early 20th century Burtons building which is occupied at ground level by a chain bakery shop. To the west is the Captain James Lang Wetherspoons pub, with beer garden that wraps around the rear extension of Glencairn House separating it from Riverside Lane.

The rear of the building is south facing with potential for fantastic views to the Leven, Levensgrove Park and Dumbarton Rock.

Quay Pend is a pedestrian route connecting High St. to Riverside Lane.

The brownfield sites currently houses an electrical substation and informal parking as well as a mature tree. Previously there were public toilets on this site. There are excellent views to the river and park, making it a pleasant and restful spot.

Travel connections

The site is approximately 0.5 miles or a 10 minute walk from Dumbarton train station. This is a circuitous route, but we understand there are plans to reinstate the historic Cross Vennel as a pedestrian route which would create a more direct connection between the train station and Glencairn House. From Dumbarton train station there are regular trains to Glasgow and Edinburgh as well as Helensburgh and Balloch.

The A82 runs outside Dumbarton and provides a road connection to Glasgow city centre in approx. 30mins.

National cycling route 7 runs through Dumbarton town centre, within 100m of Glencairn House. Route 7 connects Sunderland to Inverness, but more locally connects Glasgow to Loch Lomond and is a busy cycle route.

The site has ample travel connections both locally and to Glasgow and Edinburgh.



Options Appraisal

Option A

Following the briefing workshop and approval of the written brief we looked at three high level approaches to the building. These options aren't so much building plans, as an approach to how we might organise the building and in particular, how the library and museum functions sit together. These options were presented to the client, and following feedback a concept design was developed.

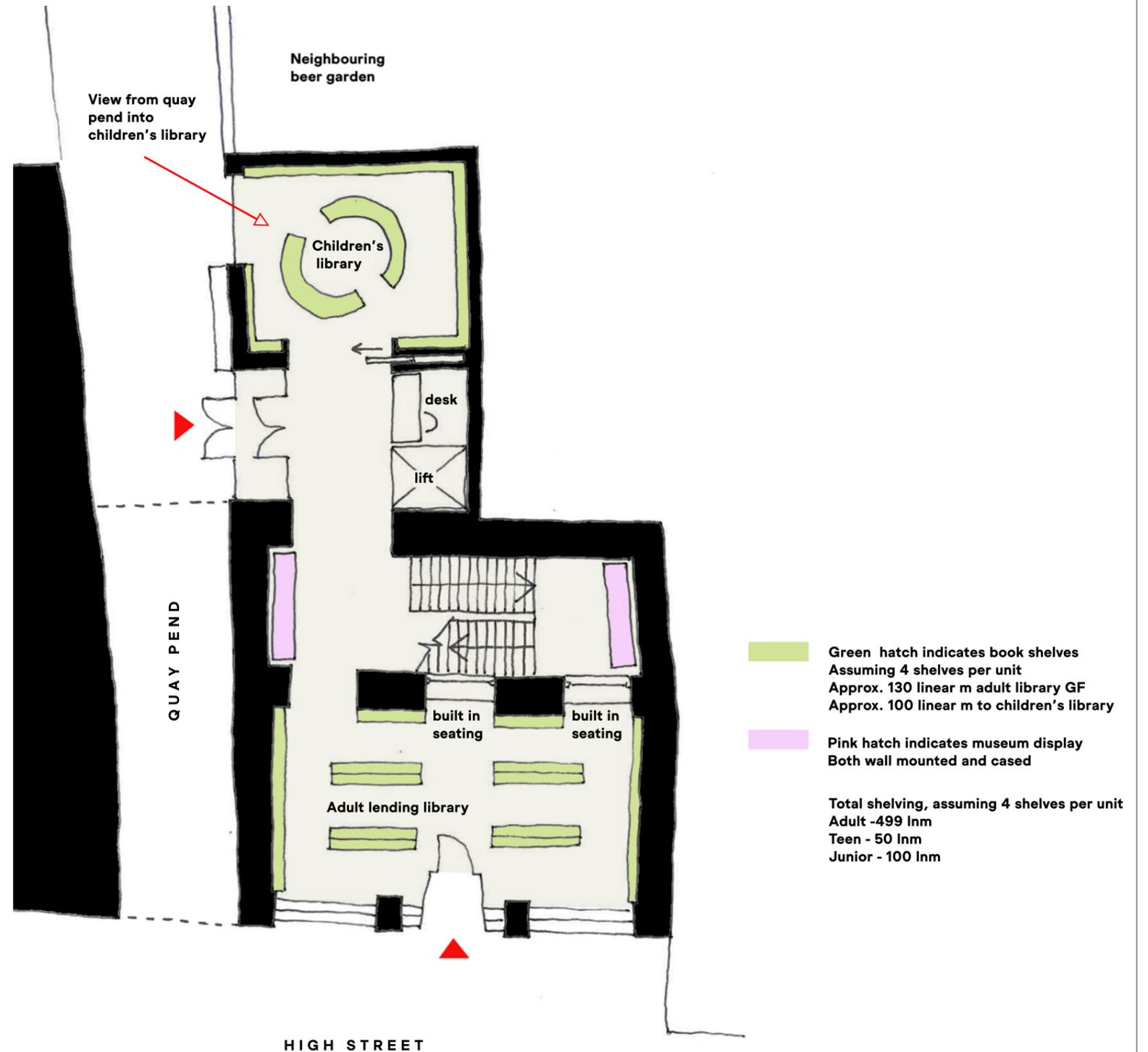
Option A

In all options the existing dilapidated 20th century extensions to be rear are demolished and a new extension proposed.

Option A takes a pragmatic approach to Glencairn House. Taking on board the regeneration aspirations to connect the train station to Glencairn House to the riverside walkway and on to Dumbarton Rock, a new route through the building and onto Quay Pend is proposed. The vertical circulation core is located centrally so that it can serve the existing rooms at the front of Glencairn House and the new rooms in the proposed extension. A large area of shelving for the library is located in the first double height space off High St. From the street you would see lots of books and activity which would entice people to engage with the building. The desk is located centrally facing the new entrance off Quay Pend and the children's library is to the rear of the ground floor in the extension.

It was clear from the briefing workshops that the optimum location for the children's library is at ground floor for ease of access. However, it wouldn't be appropriate to have it directly off High St as building users would have to move through the children's library to get to the rest of the building, so the space to the rear is the other potential location. There could be a big window onto Quay Pend activating the pend during the day. However, this space is significantly smaller than required with only half the linear metres of shelving space provided.

The museum display cases could be arranged as a vertical museum within the circulation zone of the stairs. This could provide dramatic impact in the centre of the plan with large portraits hung at high level within the stairs and smaller objects within display cases on each landing.



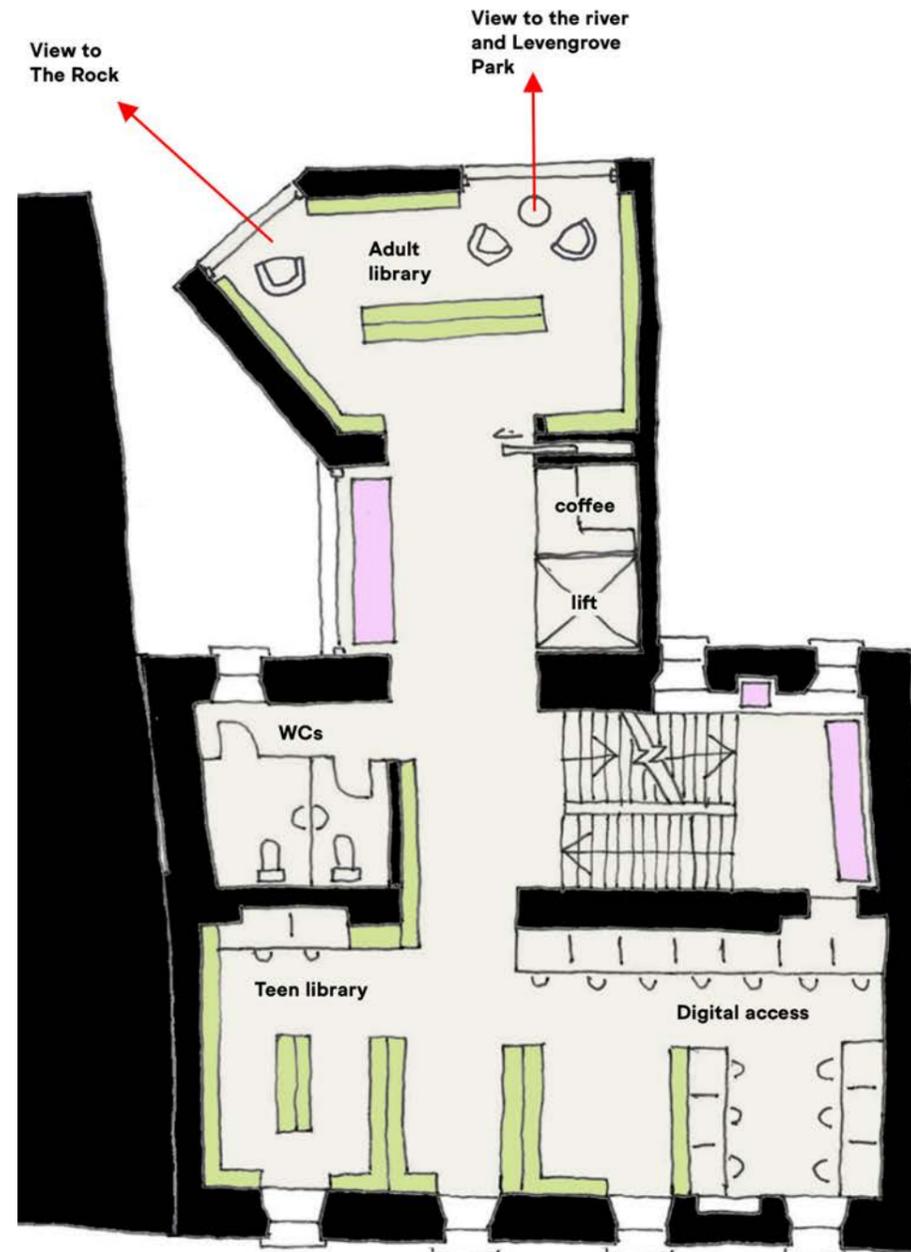
Opp: Option A ground floor plan

Option A

At first floor the stairs and lift bring you up in the centre of the plan with a WC block completing the services core. To the front of the plan, within the original building is a reading room with a teen area and digital access. The museum display is contained within the stairs and circulation zones and to the rear within the extension is a further reading room. The extension turns and cantilevers out over the pend to provide a view to Dumbarton Rock. Large windows on the rear elevation take advantage of the view to the river Leven and Levensgrove Park.

There is a large window clearly separating the rear elevation of Glencairn House with the new extension, so new and old can be clearly understood. In this window there is a museum display case which could be viewed from the pend by passersby enticing them in to explore the building.

In this version, the existing mezzanine is not exploited and the floor levels of the extension match the existing floor levels of Glencairn House. The floor to ceiling height in the existing mezzanine does not comply with building regulations for habitable space, so it could only be used for storage or plant space.



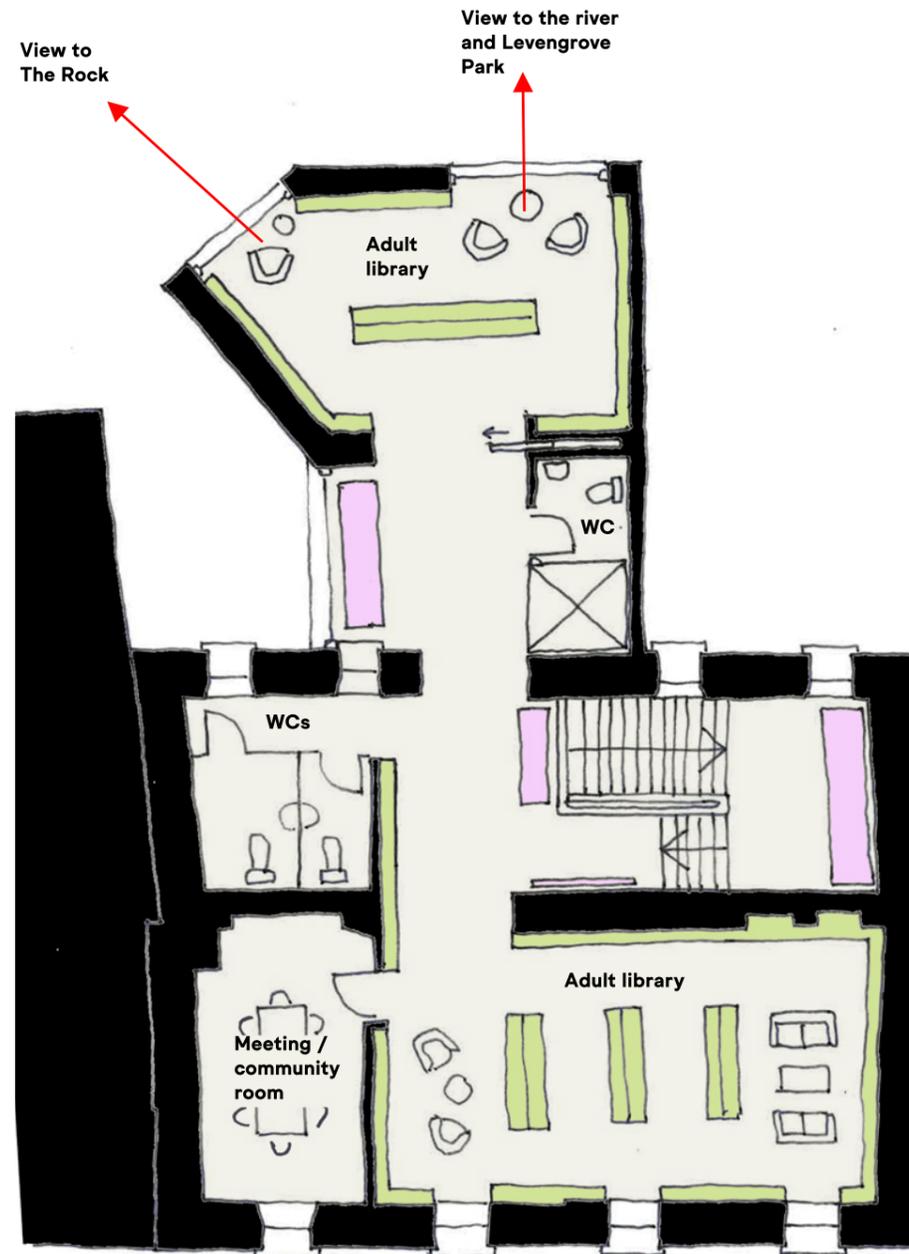
Green hatch indicates book shelves
Assuming 4 shelves per unit
Approx. 142 linear m adult library FF
Approx. 50 linear m to teen's library

Pink hatch indicates museum display
Both wall mounted and cased

Total shelving, assuming 4 shelves per unit
Adult - 499 lnm
Teen - 50 lnm
Junior - 100 lnm

At second floor there is a similar plan to the first floor. This time the reading room to the front of the building contains the meeting room / rentable space for community groups.

This approach would offer a straight forward and pragmatic solution. The majority of the linear metres of shelving could be accommodated, but the children's library is compromised given the existing space restrictions. There is little connection between floors, which may lead to the upper floors being underused.



Green hatch indicates book shelves
Assuming 4 shelves per unit
Approx. 149 linear m adult library SF

Pink hatch indicates museum display
Both wall mounted and cased

Total shelving, assuming 4 shelves per unit
Adult - 499 lnm
Teen - 50 lnm
Junior - 100 lnm

Opposite: Option A first floor plan

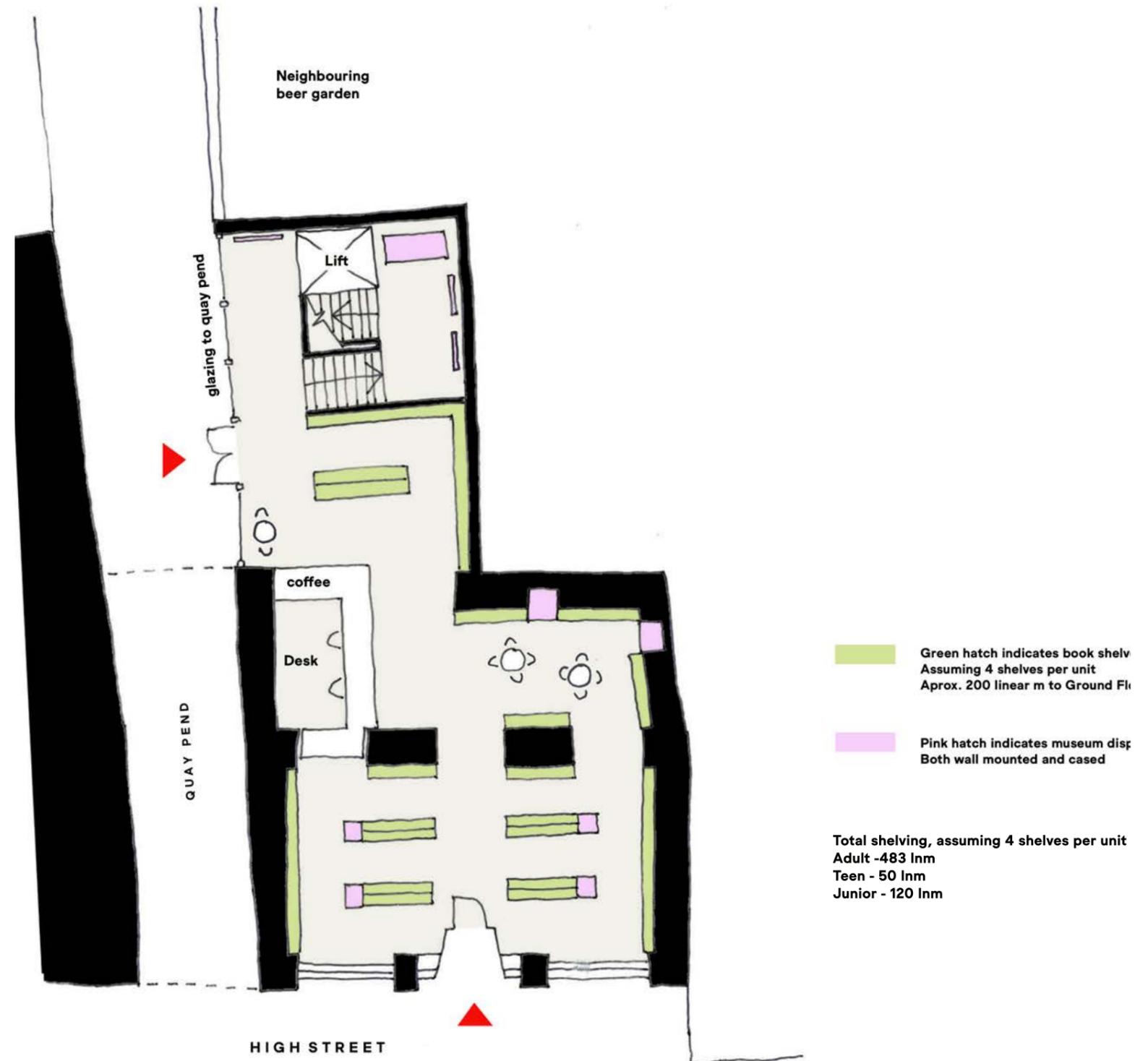
This page: Option A second floor plan

Option B

Option B looks to open up vertical connections in the building by making use of the existing mezzanine level. It will be important that visitors understand there are public spaces on the upper floors that they are welcome to visit. We can encourage people to explore by providing visual connections to the upper levels.

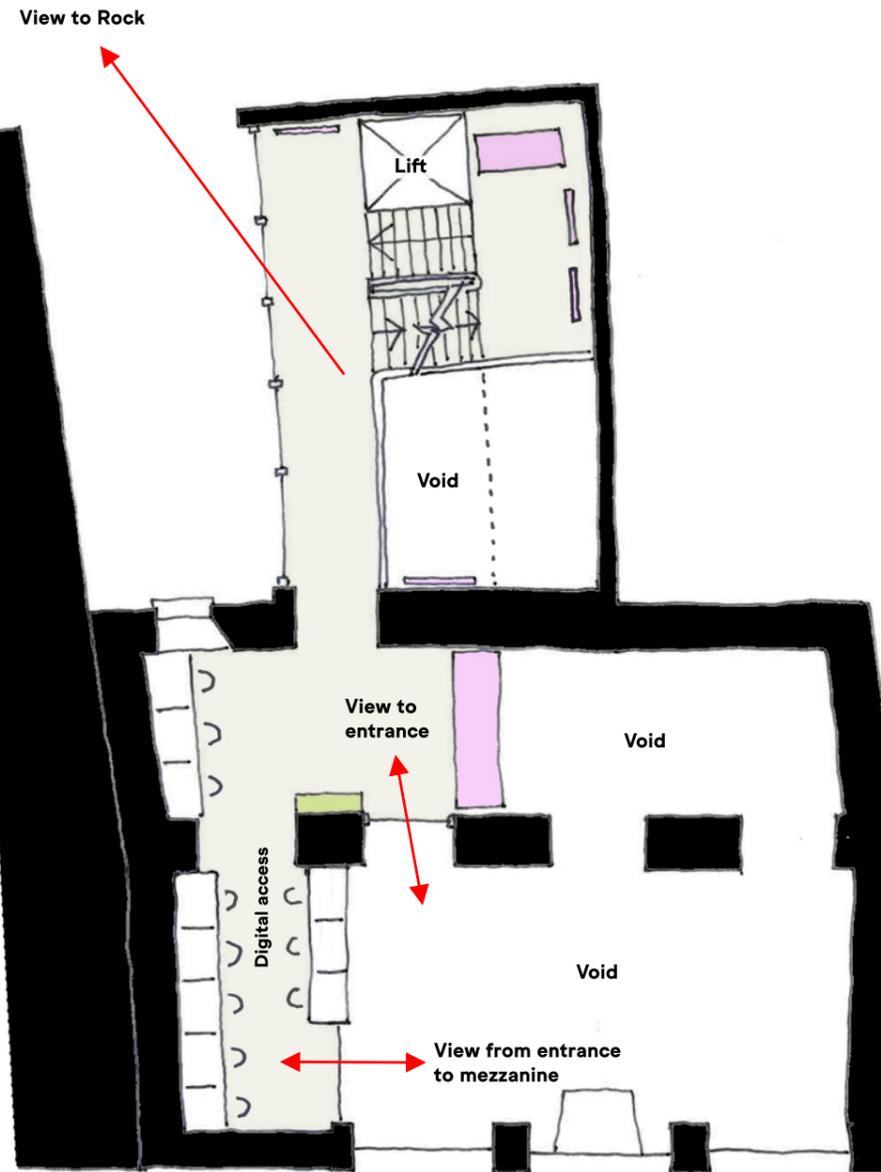
In Option B we have taken a different approach to the museum display. In this option, the museum objects are displayed throughout the building. There is no central large display, but instead a series of smaller cabinets for individual or small groups of objects. This will encourage incidental interaction with the objects.

At ground level there would still be shelving in the first room off High St but this would be interspersed with museum objects. The desk would be located centrally, with the potential for a coffee dock and some seating. To the rear we would have the stairs and lift winding up through the building with the new extension. By locating the stairs in the extension we have the freedom to create a meandering route which allows views up to the upper levels. Again, museum objects could be displayed in small groups or individually at each level.



In order to overcome the head height issue at mezzanine level, we would remove a section of the floor at first floor level. This means the mezzanine becomes a tall and lofty space. The digital access area could be located on the mezzanine with views back down to the entrance area. Within the extension small voids around the stairs create spatial interest.

The wall to Quay Pend could be fully glazed allowing the view to the Rock open up as you rise up the stairs to the upper levels.



- Green hatch indicates book shelves
Assuming 4 shelves per unit
Aprox. 5 linear m to Mezzanine
- Pink hatch indicates museum display
Both wall mounted and cased

OPTION A
Mezzanine floor plan
1:100 @A3

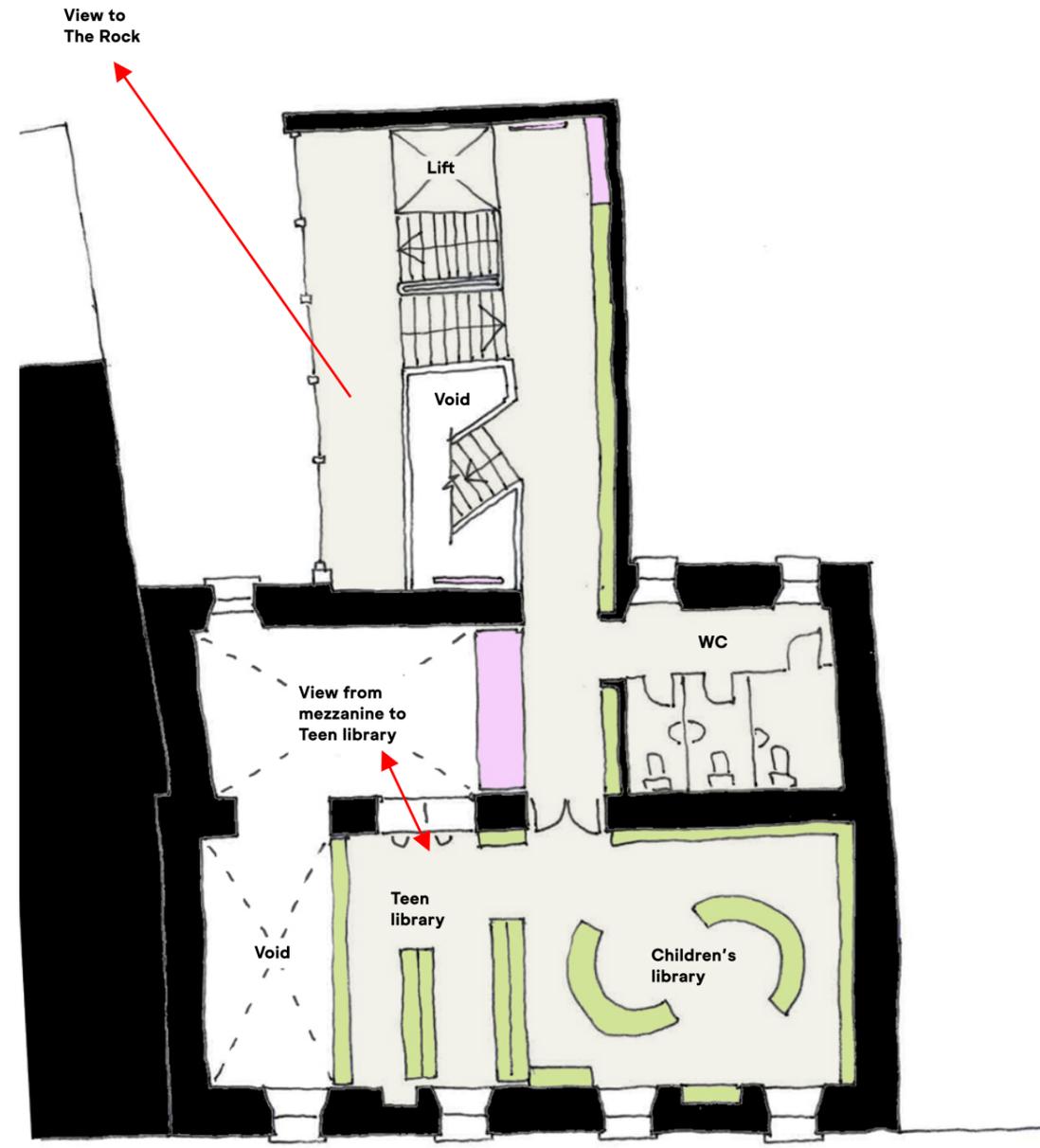
Opposite: Option B ground floor plan

This page: Option B mezzanine plan

Option B

As you continue up to first floor, the stairs starts to weave its way up the void creating unexpected views through the building. In option B we proposed the children's library is located at first floor level to allow more space for shelving. In this option the children's library still does not achieve the linear metres required in the brief, but it provides more than option A.

From the first floor room internal windows could provide views back down to the mezzanine level because of the stepping section. A back to back display case with museum objects viewed from both levels could provide dramatic impact.



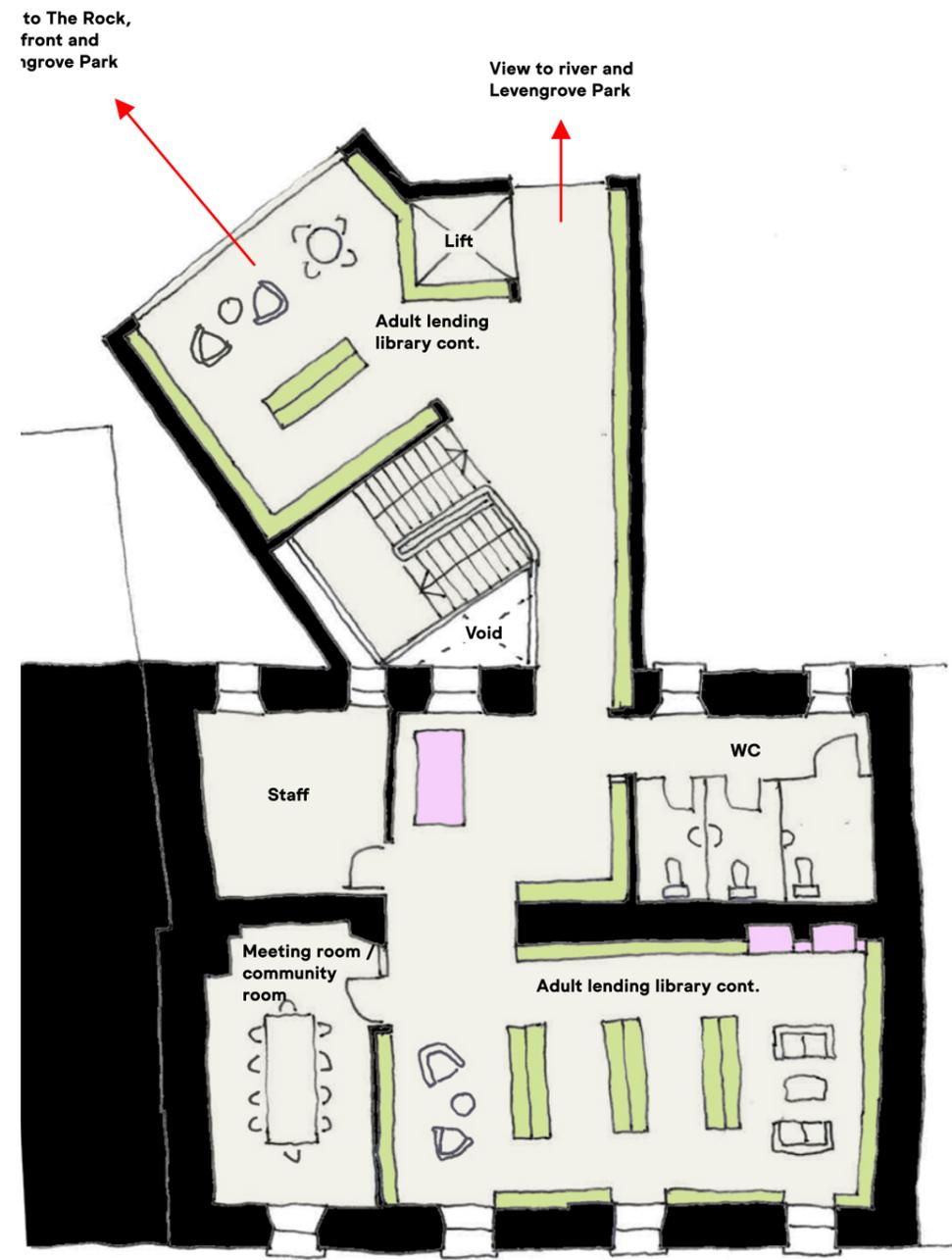
Green hatch indicates book shelving
 Assuming 4 shelves per unit
 Approx. 40 linear m adult
 Approx. 50 linear m teen
 Approx. 120 linear m junior

Pink hatch indicates museum display
 Both wall mounted and cased

OPTION A
First floor plan
1:100 @A3

The stairs then cranks and turns 45 degrees to bring you up to the second floor. The extension cantilevers out over the pond at this level to provide a direct view to Dumbarton Rock. A large window would be provided to the rear elevation to take advantage of the views to the river Leven and Levensgrove park beyond.

Long runs of shelving would draw visitors around the plan. Museum objects would be scattered throughout to encourage interaction with them. A reading room would be located within the existing space in Glencairn House with a dedicated meeting room for 10-12 people. This space has a lovely scale and domestic quality which makes it perfect for a library space. Staff accommodation and toilets occupy the centre of the plan.



- Green hatch indicates book shelve
Assuming 4 shelves per unit
Approx. 238 linear m of shelving
- Pink hatch indicates museum displ
Both wall mounted and cased

OPTION A
Second floor plan
1:100 @A3

Opposite: Option B first floor plan

This page: Option B second floor plan

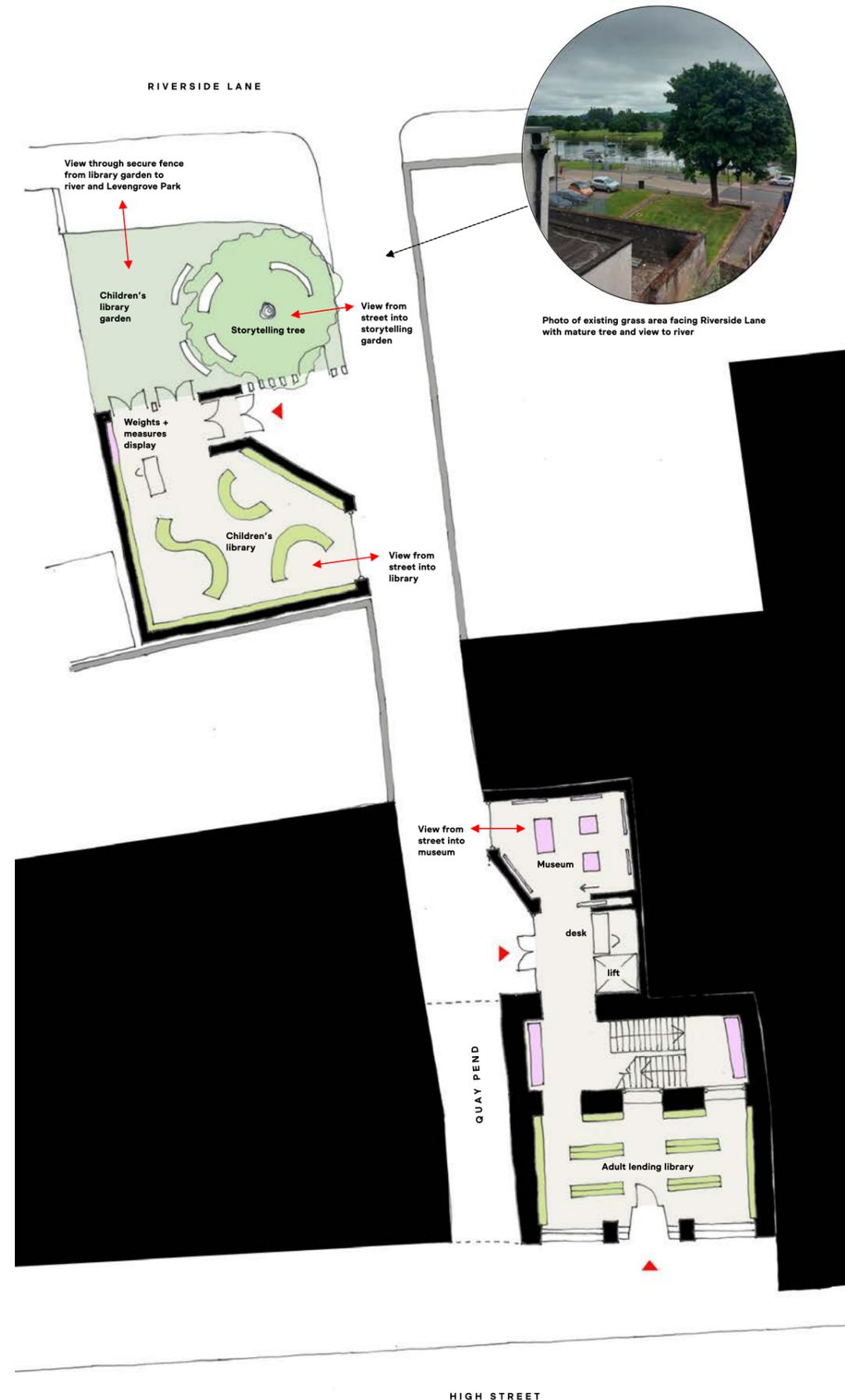
Option C

In both of the previous options the children's library was compromised, either in terms of space or access. Ideally the children's library should be located on the ground floor to make it easy to access with a buggy. However the space available at ground level in Glencairn House is finite.

Option C proposes locating the children's library in a separate pavillion on the existing brownfield site at the end of Quay Pend. By having the new entrance to Glencairn House at one end of the pend and the entrance to the children's library at the other end, this will encourage people to use this route connecting the High St to the riverside.

Within the children's library pavillion we can provide the linear metres of shelving required as well as a dedicated baby changing WC and buggy parking area. There is an existing mature tree on the site which could become a "story telling tree", sitting in its own small garden space looking out over the river and Levensgrove Park. Library staff noted the success of bringing some children's library activities to local parks during lockdown e.g. Bookbug. By having a dedicated library garden, these outdoor activities could continue into the future. The garden would be enclosed by a fence so the children were safe and separated from the road, but the fence would allow views through to the river, park and Rock beyond. Having a direct connection with nature is proven to improve health and wellbeing, so the garden can support the Council's objective to improve the health and wellbeing of the community in Dumbarton.

By relocating the children's library, this frees up space within Glencairn House for a larger museum display area. There is the potential with this option to have a dedicated room for museum display.



Feedback

The three options were presented to key members of the library and museum team as well as the project board. Key comments / feedback are outlined below:

Children's library

- The proposal for the children's library in a separate pavillion with a small garden centred around the storytelling tree as Option C was received well by all parties.
- It was agreed that we should proceed with the children's library pavillion, but consultation was required with SEPA to ensure there are no issues relating to flood risk.
- Noted that the library garden would promote health and wellbeing through connection with nature.

Library

- In general all proposals were received well.
- The cantilever out over the pend to take advantage of a view to The Rock was generally liked.
- Query if a bespoke book vending machine could be included to reduce the amount of shelving required. Noted that the vending machine is not a product that currently exists and would have to be designed bespoke for this project. Noted that it would required a large storage area for books, but this could be located on the mezzanine level.
- The idea of using the mezzanine level to create vertical connections through the building was received well, but it needs further development and description.

Museum

- The museum staff were concerned the museum did not have the "scale and presence" it required.
- It was noted that the museum should not be in a single room behind a closed door as this would not encourage incidental interaction.
- It was noted that the museum objects should not be scattered individually throughout the building as the museum would then lack a clear identity.
- It was noted that displaying museum objects in circulation areas diminishes them and that there needs to be parity in the look and feel of the library and museum.
- The museum needs a presence in the first space off High St.

- Objects should "sing".
- The building should provide a journey of discovery but you shouldn't have to search for the objects.
- Agreed that there should be two or three museum "anchor points" in the building to provide a scale and presence while still locating objects throughout the building.
- A space is required for larger events e.g. book launches, local heritage talks, etc for approx. 50 people.

Pend

- Concerns were raised regarding the potential for anti-social behaviour in the pend.
- It was suggested that gates could be introduced along with better lighting.
- It was noted that the introduction of the new entrances onto the Pend as well as windows will create passive surveillance.

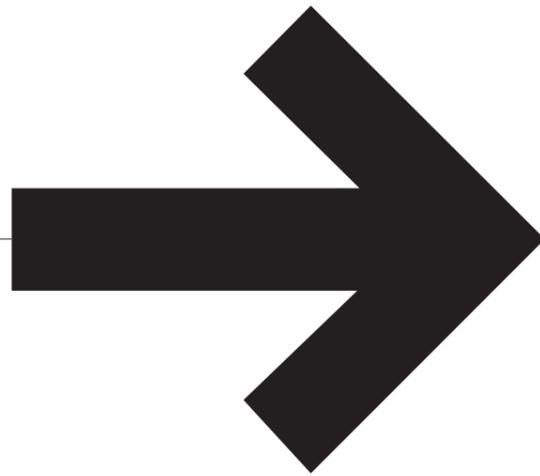
Maintenance

- Noted that large windows to the rear are desirable, but extensive glazing would be too expensive to maintain.

9

Concept design

"Dumbarton's Story Centre"



The concept for the extension to Glencairn House takes inspiration from the town of Dumbarton and its illustrious history of industry and manufacturing. We look to the past for inspiration and use the architecture as a form of heritage interpretation to tell part of the story of this place.

Visual and physical connections to Dumbarton Rock underpin the planning of the proposed extension and children's library pavillion, with the form of each building shaped to open up towards the Rock, linking these two structures together.

The proposed cladding material is colourful, bold and contemporary but also rooted in the story of the glassworks and inspired by the glass objects housed in Glencairn House museum.

The building is playful, joyful and optimistic. It looks to support a journey of discovery, both of the objects and stories within the building but also within the town.



Children's library site with existing tree and views to river and Levensgrove Park

Children's library garden with storytelling tree

Children's library pavillion

RIVERSIDE LANE

QUAY PEND

Change in paving to pend at entrances to libraries like a welcome mat

Large gate - potential for heritage interpretation and artist collaboration

Toilets

Quay Pend entrance

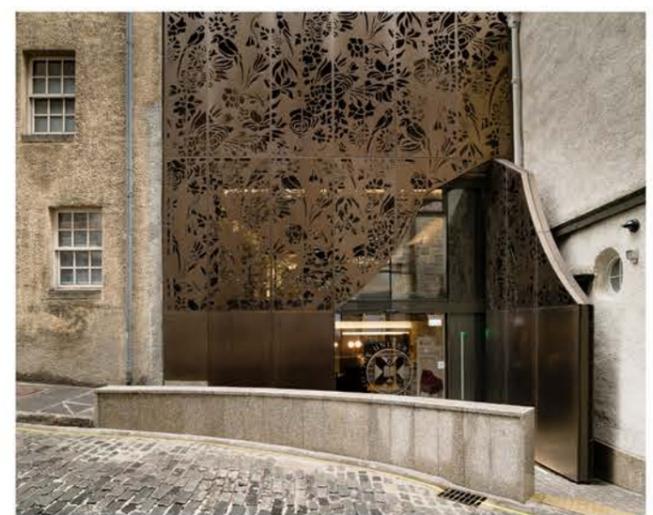
Stairs

Double height museum display wall, anchor point 01. Portraits at high level within arches and smaller objects within integrated display cases at low level

Potential gates to Quay Pend arch

HIGH STREET

GROUND FLOOR level +0.00



Large gate at St. Cecilia's Hall, Edinburgh



Gates by Rachel Duckhouse at Edinburgh Printmakers

Ground floor

Taking on board all feedback received from the options appraisal, a concept design was developed.

Key to the feedback was the need to develop parity in the relationship between the library and museum. To do this, we propose having three museum anchor points in the building. This will allow for the "scale and presence" required to give the museum a clear identity, but also mean there are museum objects in different locations that can be discovered as you move through the building.

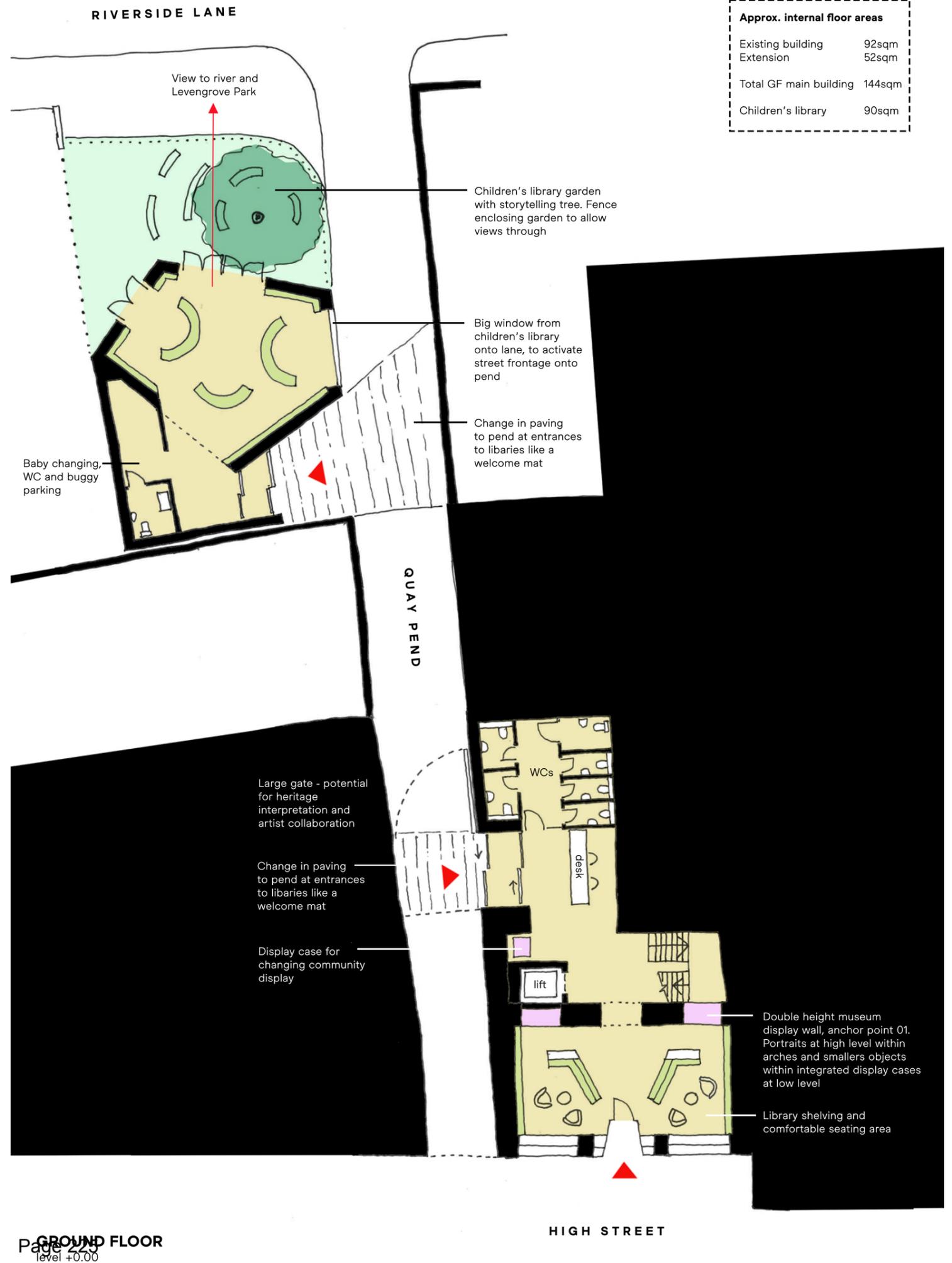
At ground floor, the first space off High St. would have library shelving and comfortable seating in the shop windows, which will engage passersby and activate the street frontage. Within the three existing large openings in the central spine wall we have museum anchor point 01. Large bespoke museum display cases would be integrated into the openings with the large portraits hung at high level and smaller objects at eye level. The stairs and lift would form a circulation core in the centre of the plan with the library desk and toilet core in the extension to the rear.

The freestanding shelving on the ground floor could be on castors so that it can be pushed back to allow large events in the main space off High St for up to 50 people.

A new glazed entrance would open out onto Quay Pend to encourage movement through the building, down the pend and onto the river walkway beyond. The children's library pavilion would sit at the end of Quay Pend. A recessed entrance would draw people in, and a large window would bring passive surveillance to the pend. The children's library opens out onto a library garden centred on the storytelling tree with views to the river, Levensgrove Park and Dumbarton Rock beyond. You can imagine children's storytelling sessions, about the history of Dumbarton, the characters who lived there and the important events that took place there, all told while looking out at the town and Rock beyond.

A "welcome mat" of new coloured paving might extend from each entrance encouraging passersby to enter.

The option of installing gates to the pend for nighttime security was explored. However, HES have made it clear that they would not support this proposal as they feel it is important to maintain the historic public route.

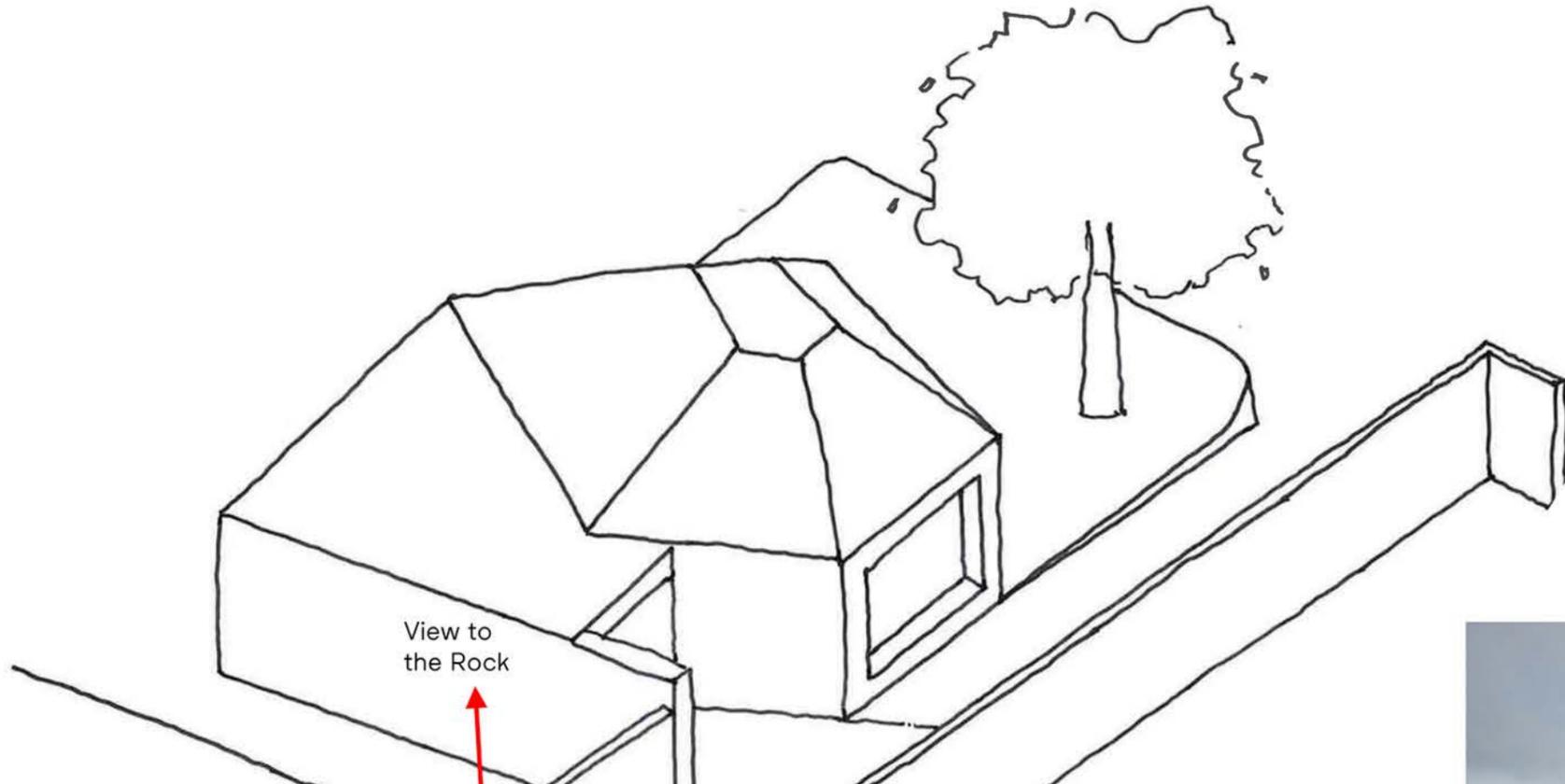


This page: Proposed ground floor plan

Opp: Proposed ground floor axo

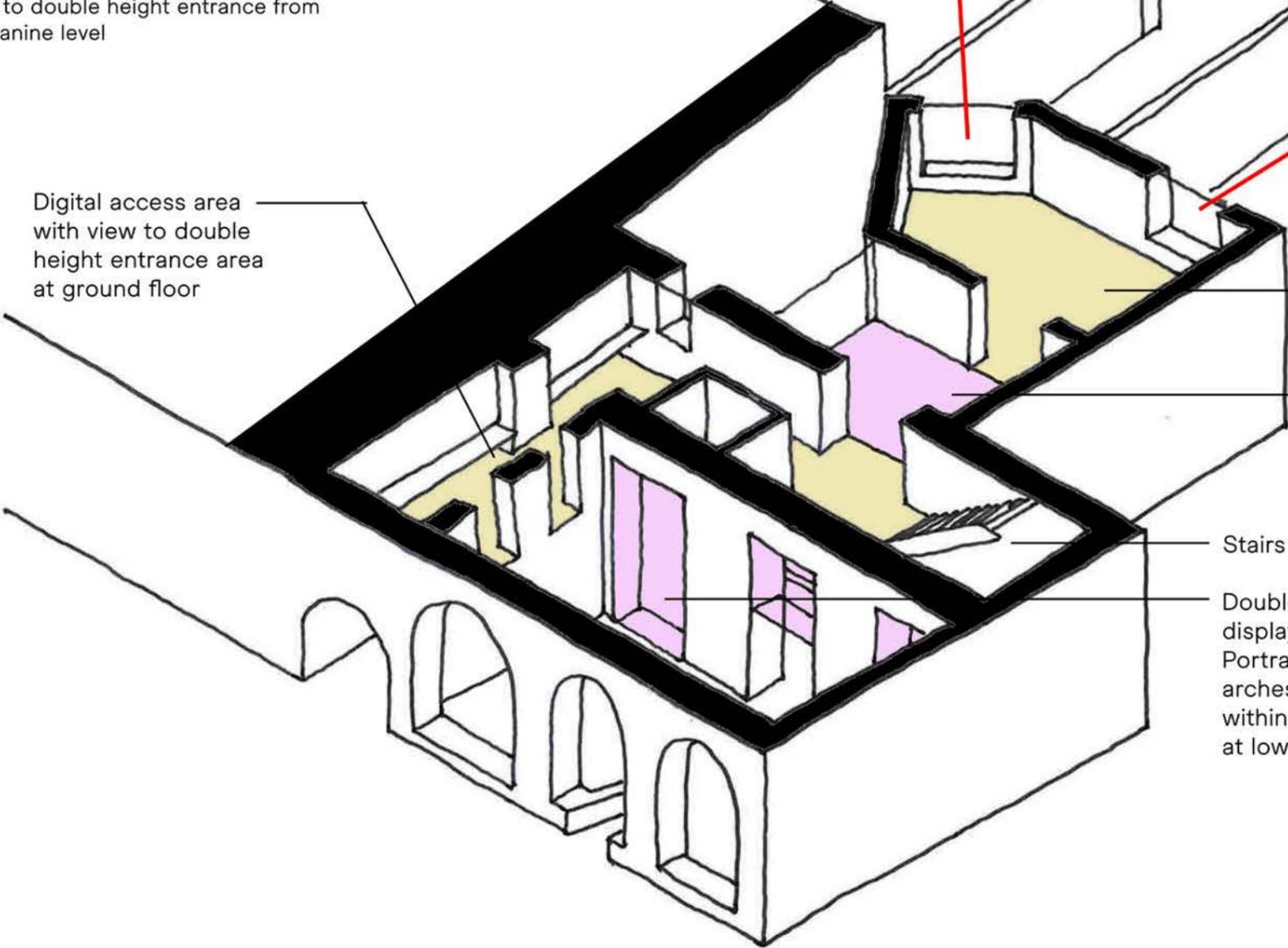


View to double height entrance from mezzanine level



View to the Rock

Digital access area with view to double height entrance area at ground floor



View to river and Levensgrove Park

Reading room and digital access area with views to river and Rock

Museum display area, anchor point 02. Large window onto Quay Pend

Stairs

Double height museum display wall, anchor point 01. Portraits at high level within arches and smaller objects within integrated display cases at low level



View of river and Levensgrove park



Display cases to sit within existing double height arches

MEZZANINE LEVEL
level approx. +2.855

Mezzanine level

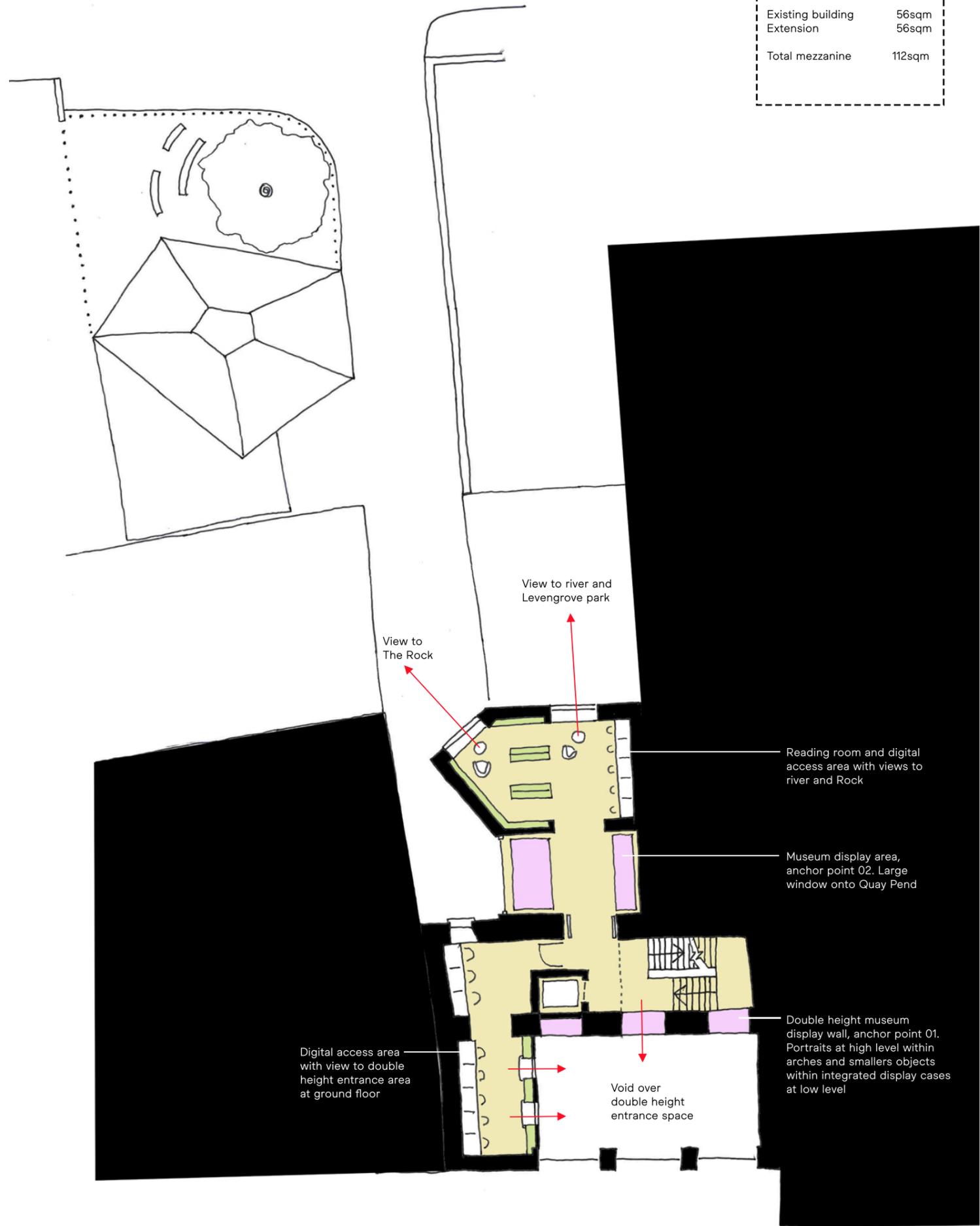
In order to encourage movement up the building, visual connections are made between the different levels by exploiting the existing mezzanine.

Visitors travel up the stairs and lift to the mezzanine level. As you move up the stairs you can see through the display cases within the existing arches back to the entrance area. The first floor over the existing mezzanine is removed to provide adequate floor to ceiling height. This area houses some of the digital access points and provides views through internal windows back down to the entrance area.

To the rear of Glencairn House in the new extension is the second museum anchor point. This space could be set out in lots of different ways and this will be developed at the next stage. A large window onto the pond brings light into the back of the plan and allows views of the museum objects from the pond.

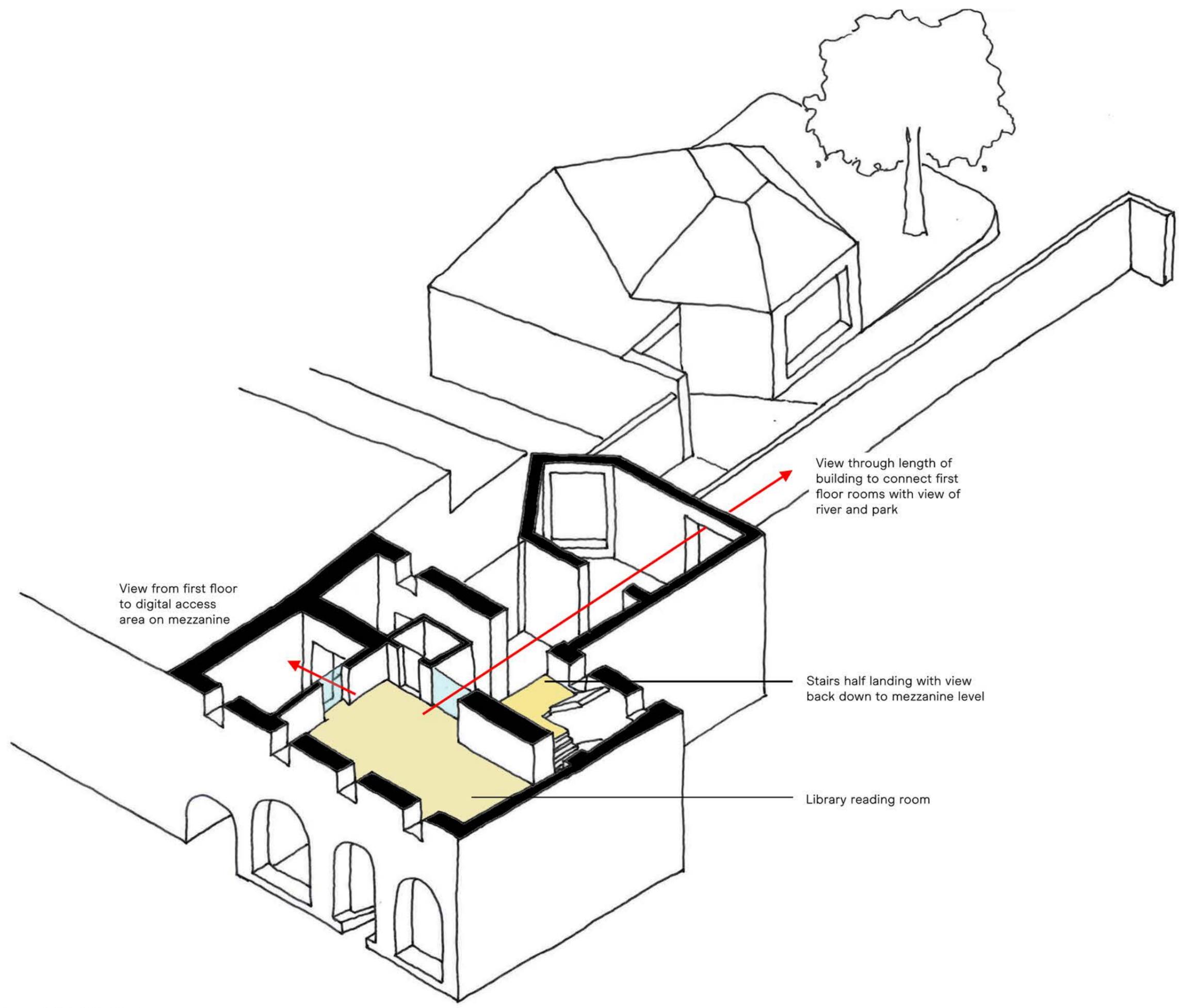
From here you move through to a reading room at the back of the extension which has a large window looking out to the river and Levensgrove Park beyond. The extension turns and cantilevers out over the pond to provide a second large window with a view to the Rock. This view connects the two points in the "Arc of Attraction" together visually. This space would include further digital access points as well as shelving and comfortable seating. Working with the existing floor levels, this space becomes a tall, bright and airy space within the extension.

Approx. internal floor areas	
Existing building	56sqm
Extension	56sqm
Total mezzanine	112sqm



This page: Proposed mezzanine plan

Opp: Proposed mezzanine axo



View from first floor to digital access area on mezzanine

View through length of building to connect first floor rooms with view of river and park

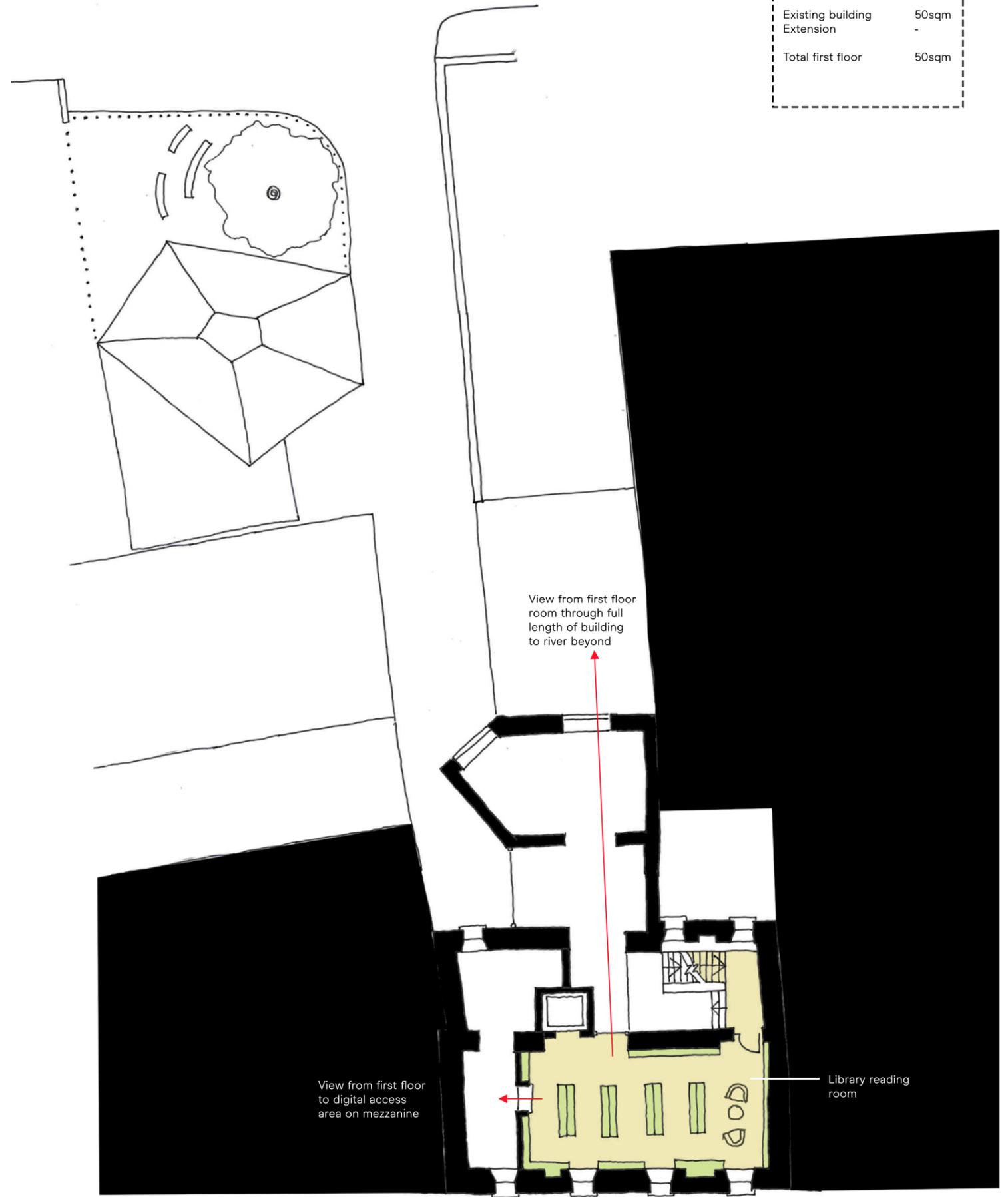
Stairs half landing with view back down to mezzanine level

Library reading room

First floor

Continuing on up the stairs and lift you arrive at the existing first floor room within Glencairn House. This existing space has a lovely domestic quality which makes it ideal for a reading room. It would contain shelving and comfortable seating. From here there would be internal windows providing views back down to the mezzanine level.

Approx. internal floor areas	
Existing building	50sqm
Extension	-
Total first floor	50sqm



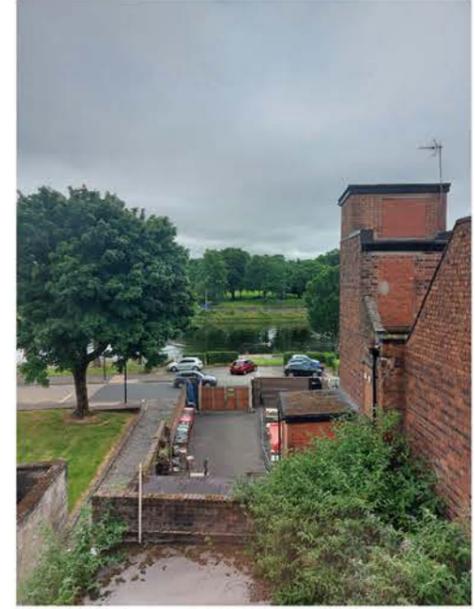
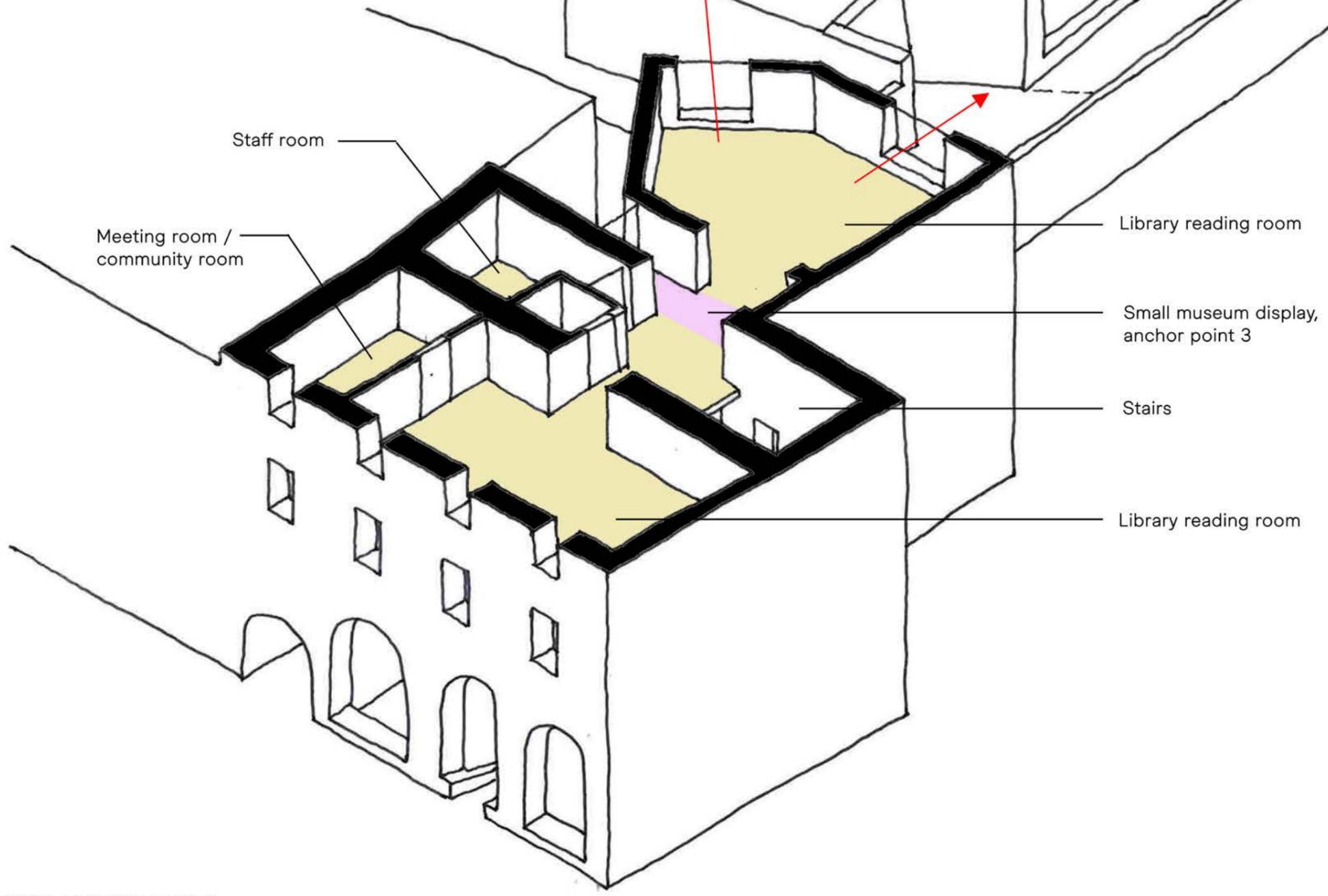
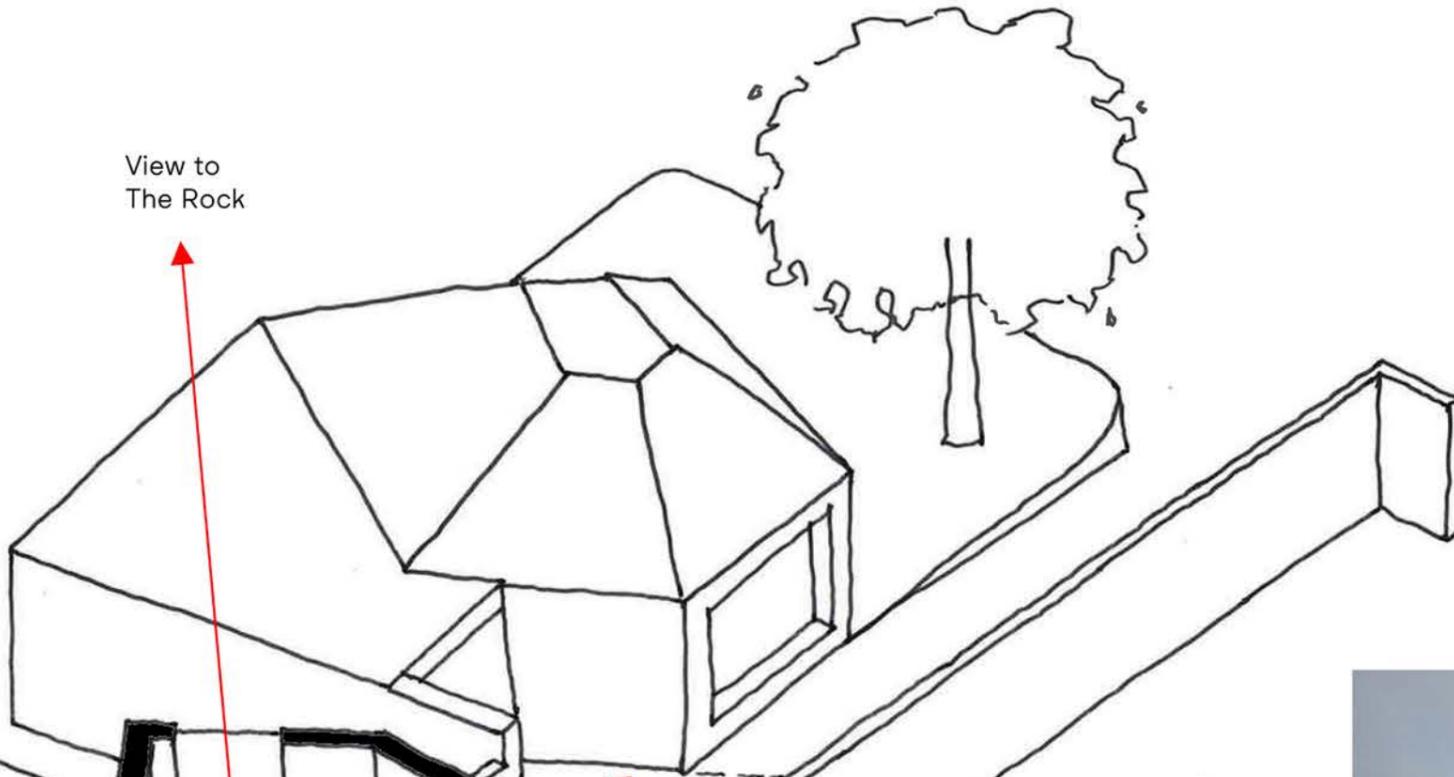
This page: Proposed first floor plan

Opp: Proposed first floor axo



MacMillan portait hung in context adjacent to the view to The Rock

View to The Rock



View of river and Levensgrove park

Second floor

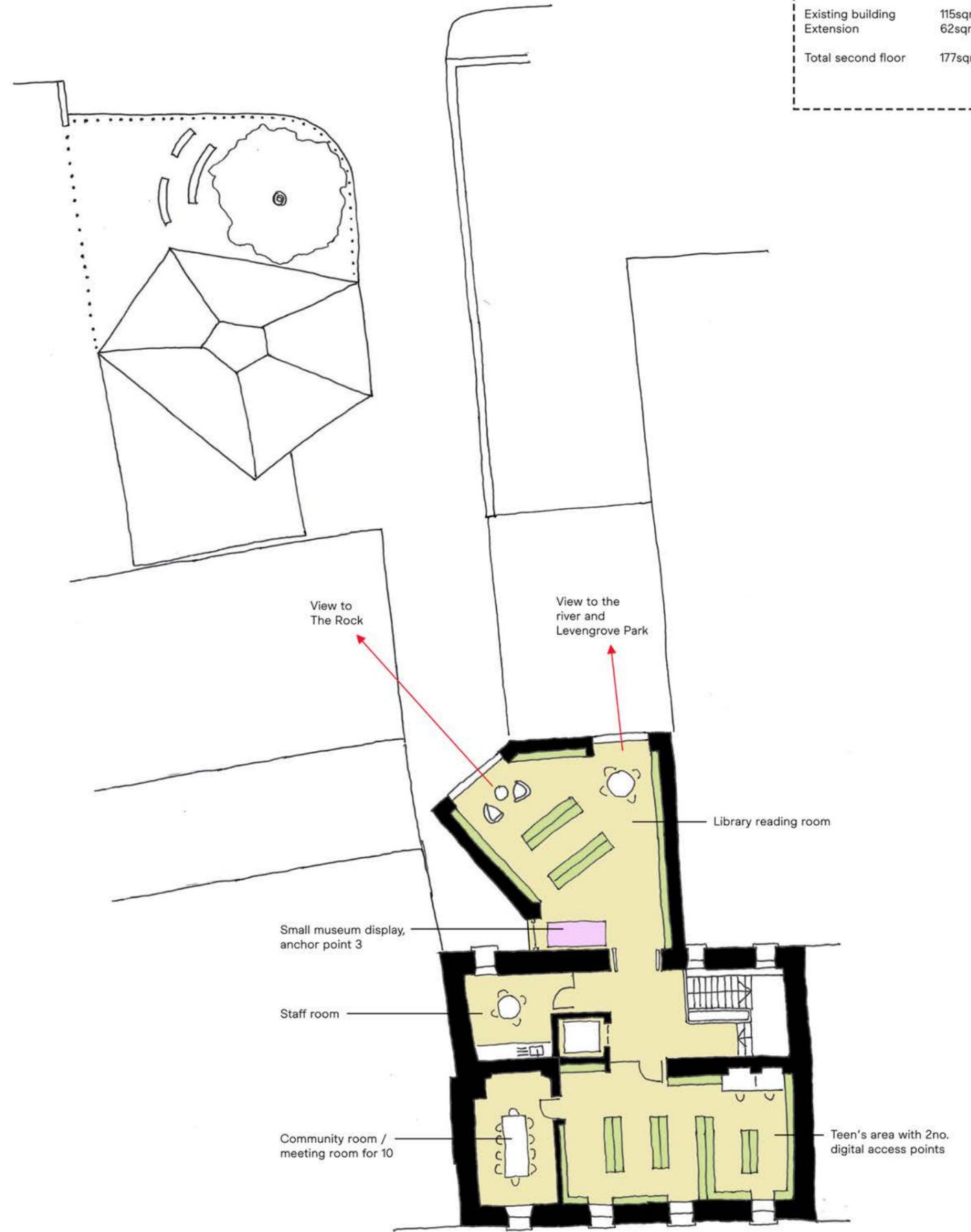
At second floor you have a large floor plate. The existing rooms to the front of Glencairn House would contain library shelving, comfortable seating and the Teen's area. There is a small meeting room for 10-12 people which can be rented to local groups during the week. A staff room is tucked in behind the lift to give staff a place to take breaks and store personal belongings.

In the extension we have our second, smaller museum anchor point. Again there is a window to the pond so sparkling glass objects might catch the eye of passersby. Beyond the museum display is the final reading room. This time the extension cantilevers further out over the pond to provide dramatic views to the Rock, river and Levensgrove Park.

There is potential to display museum objects individually in specific locations to provide context. For example, the MacMillan portrait shows an image of the Rock in the top left corner and this could be hung beside our window with a view to the Rock.

Approx. internal floor areas

Existing building	115sqm
Extension	62sqm
Total second floor	177sqm



This page: Proposed second floor plan

Opp: Proposed second floor axo



Dumbarton in Glassmaking Days by Alexander Kellock Brown (1849-1922)



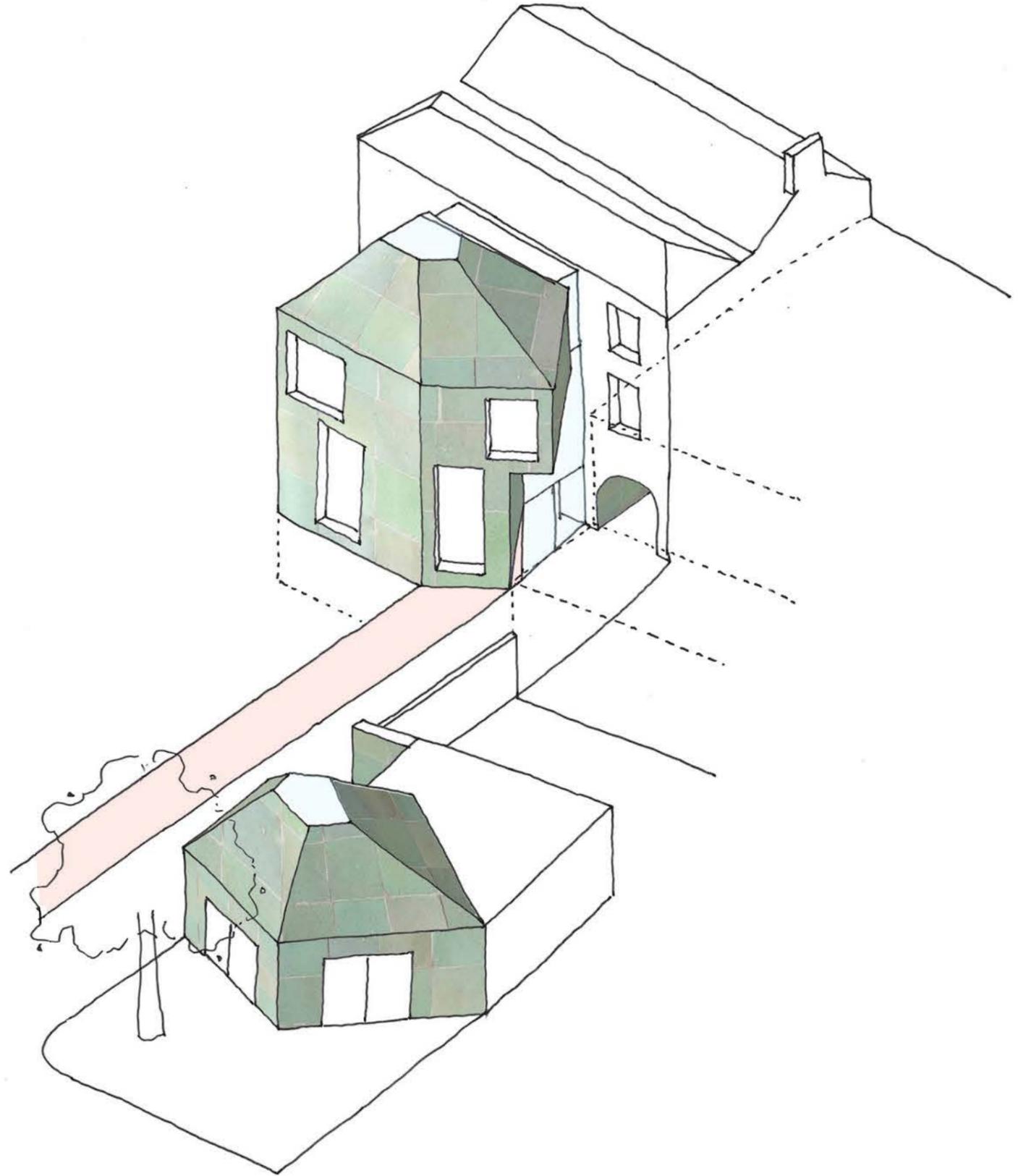
Skellat Bell

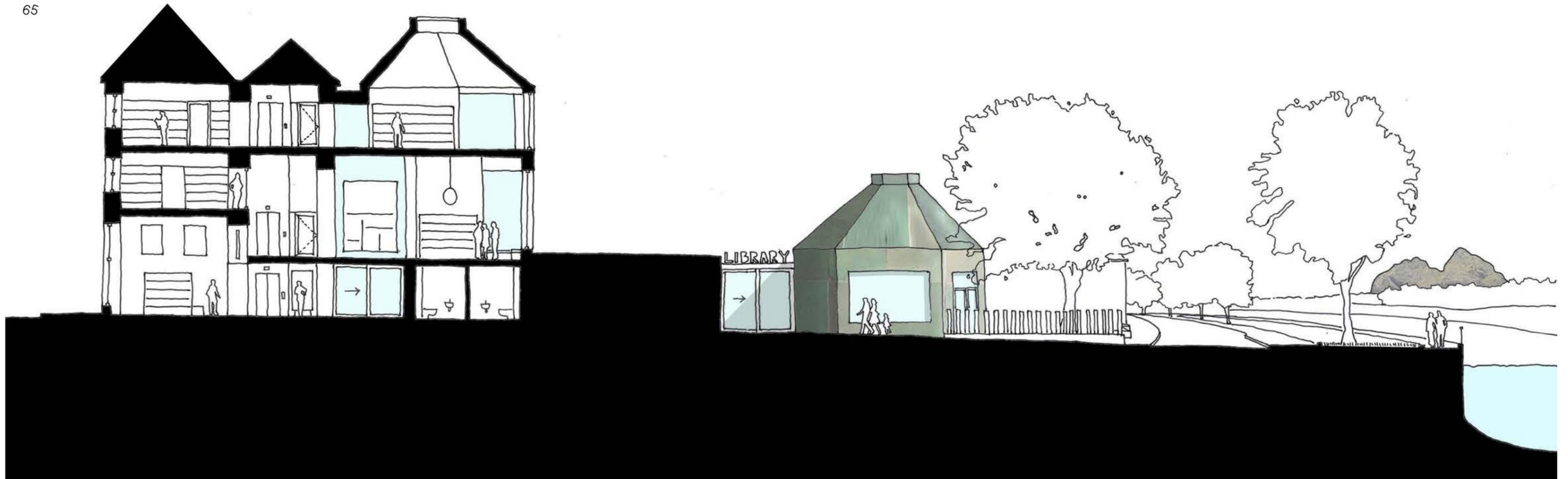


Turtle Frigger



Leeds Playhouse ceramic facade by Page\Park





The oil painting titled "Dumbarton in Glassmaking Days" by Alexander Kellock Brown (1849–1922), held in the WDC museum collection, is an extraordinary image of Dumbarton. Dominating the townscape on one side are the tall conical forms of the glassworks chimneys and on the other side the tall conical form of Dumbarton Rock. Both of these structures, manmade and natural, symbolise aspects of Dumbarton. The glassworks a symbol of industry and innovation, the Rock a symbol of power. The glass objects are fused under immense heat within the chimneys and the Rock is a volcanic plug formed under pressure and heat in the earth's crust. As symbols of the town, these tall conical forms are very powerful. This painting is very carefully composed to convey this image of Dumbarton. Of course, the glassworks chimneys no longer exist, but the Rock and the legacy of the glassworks do.

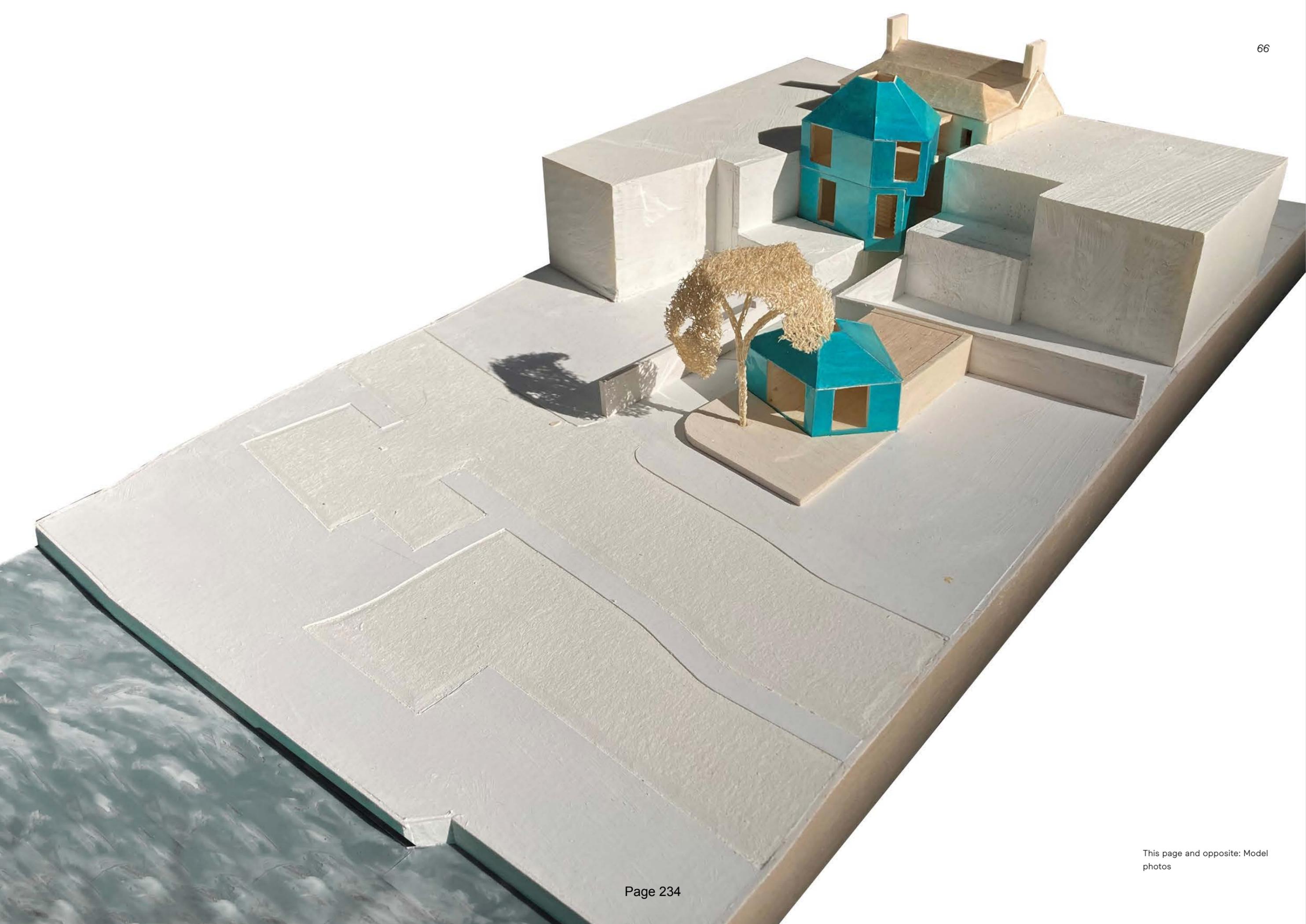
Similarly the Skellat Bell, a key object in the museum collection, is a beautiful, tactile conical form, this time with faceted sides.

Our proposal takes inspiration from these forms and looks to interpret this heritage, unique to Dumbarton, in the architectural language. The roofs of the new extension and children's library are tall conical forms reminiscent of the glassworks chimneys. From Riverside Lane, these two modern chimneys will be seen in context with the Rock.

We propose to clad the new build elements in glazed ceramic large format cladding panels. Taking inspiration from the 'turtle frigger' (opposite) and other glass objects in the museum collection, the cladding will be shiny and eye-catching like the glass objects themselves. The turtle frigger has a beautiful depth, tone and variation and we would look to replicate this tonal quality in the colours of the cladding panels. We would suggest working collaboratively with an artist to develop a colour palette, based on the glass objects in the museum, for the cladding panels. We have previously used glazed ceramics successfully in our Leeds Playhouse project (opposite) to create an eye catching new 'face' to the original theatre.

In section, above, you can start to see how the different spaces on each level have visual connections through internal windows and openings. The new room at the top of the extension will have a dramatic faceted conical ceiling with a rooflight at the top.

Opp: Sketch view of proposed extension and children's library. Images used as inspiration for the form and materiality.





"Dumbarton's Story Centre"

Opp: Sketch perspective view from Riverside lane with children's library pavillion and garden to the centre, Glencairn House and extension on the left and Dumbarton Rock in the distance on the right



Stairs and lift provision

Building Standard 4.2

"Every building must be designed and constructed in such a way that in non-domestic buildings, safe, unassisted and convenient means of access is provided throughout the building."

A building should be accessible to everyone. It should be possible for a person to move throughout a building and use the facilities to the best of their ability, without assistance and without the need to overcome unnecessary barriers. Every storey and level of a building should be accessible. As such a new building regulation compliant stairs and lift are proposed for Glencairn House.

The proposed new stairs will be designed in line with Scottish non-domestic building regulations to be accessible to a person with reduced mobility. We would propose an effective width of a minimum 1.2m (width between handrails) to provide a comfortable, generous main stairs.

In addition to the new stairs, a lift is proposed to provide unassisted access to all levels. The lift installation should meet the recommendations of BS EN 81-70: 2003. A regulation compliant lift must have a car size of at least 1.1m wide by 1.4m deep. In addition a clear landing of at least 1.5m x 1.5m in front of any lift entrance door must be provided. We would propose an 8-person, compact, machine room-less lift for a building of this size. Once a detailed building survey has been procured we can test lift options to minimise disruption to the existing building fabric, in particular the roof.

Toilet provision

Building standard 3.12

"Every building must be designed and constructed in such a way that sanitary facilities are provided for all occupants of, and visitors to, the building in a form that allows convenience of use and that there is no threat to the health and safety of occupants or visitors."

General WC provision

The number of sanitary facilities provided within a building is calculated from the maximum number of persons the building is likely to accommodate at any time, based upon the normal use of the building. Table 2.10 of the Technical Guidance Document to the Scottish non-domestic Building Regulations (hereafter referred to as TGD) recommends an occupancy load factor of 5.0 for museums and 7.0 for libraries. As the building is predominantly a library, we will assume an OLF of 7.0. If the total building area including the children's library is approx 685m², then the **max. occupancy is 98 people.**

On occasion we understand that larger events may take place e.g. book launch, local history talk, etc., but toilet provision is based on normal use.

For the purposes of calculating WC provision, the building can be classified as an **assembly building.** Using Table 3.8 of the TGD and assuming a 50/50 male / female split, then the following is required:

49 female 4 WCs
49 male 1 WC + 2 urinals

The building regulations note "Unisex sanitary accommodation may be provided where each sanitary facility, or a WC and wash hand basin, is located within a separate space, for use by only one person at a time, with a door that can be secured from within for privacy." It goes on to say "One unisex WC may be installed for use by both male and female customers for up to and including 20 persons."

As such, we would suggest that **6no. unisex WC** would be equivalent to the male / female provision noted above. We would propose providing **5no. unisex WC within Glencairn House and 1no. unisex WC within the children's library.** This provision would need to be agreed with Building Control.

WC provision for staff

Due to the relatively low number of staff in the building, we are not proposing a separate staff WC.

Accessible WC facilities

Accessible toilets should be provided within the overall number of sanitary facilities. We would propose 1no. unisex accessible WC in Glencairn House, with a second unisex accessible WC within the children's library.

Changing Places Toilet (CPT)

Following a detailed building survey of the existing building, and should space allow, we will review options for an enhanced accessible facility.

A Changing Places Toilet requires 12m². Provision of a CPT is in addition to, not instead of, the provision of standard and accessible sanitary accommodation. It is likely not viable to provide a CPT given the area of the existing building and the area available for the extension.

However, a Space to Change toilet could be explored as an option. Space To Change toilets bridge the gap between typical 'Document M' accessible toilets and Changing Places Toilets. A Space To Change toilet is 7.5m² (3m x 2.5m). It offers the same provision as a standard accessible WC with the addition of an adult-sized changing bench and hoist.

As these options rely on very detailed and specific layouts, the viability of providing an enhanced facility can only be tested once a full building survey is received.

For reference, the nearest CPT is at The Dumbarton Centre, 3 Bruce Street, Dumbarton, G82 1HX. This is a WDCC day care centre. It is open Mon-Fri from 9-5pm. It is 0.8 miles from Glencairn House.

Baby changing facility

One baby changing facility will be provided in the children's library. The building regulations do not support provision of baby changing facilities within an accessible WC. As such, a separate space is required for baby changing.

Enlarged WC

At least one enlarged WC cubicle, should be provided where sanitary accommodation contains four or more WC cubicles in a range.

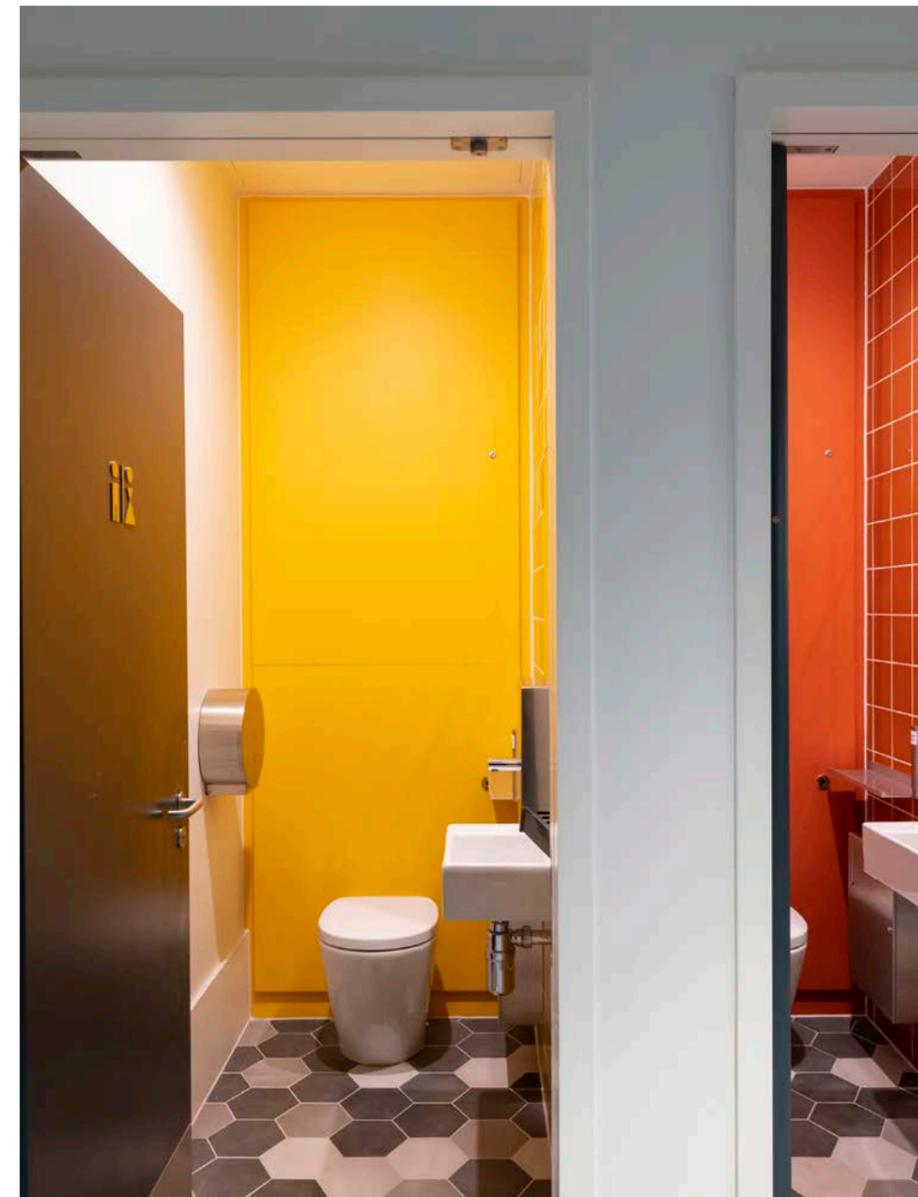


Image top: Photo of unisex WC cubicle at Edinburgh Printmakers as reference example

Table 3.8 Number of sanitary facilities for the public in entertainment and assembly buildings

Building type [2]	Sex	Number of people	Number of WCs [1]	Number of urinals [1]
Buildings used for assembly or entertainment (e.g. places of worship, libraries, cinemas, theatres, concert halls and premises without licensed bars)	male [5]	1-100	1	2
		101-250	1	plus 1 for each extra 80 males, or part thereof, over 100
		over 250	plus 1 for each extra 500 males, or part thereof	plus 1 for each extra 80 males, or part thereof, over 100
	female [5]	1-40	3	
		41-70	4	
71-100		5		
over 100		plus 1 for each extra 35 females, or part thereof		

Image bottom: Table 3.8 from the TGD outlining the WC provision requirements for an assembly building.

10

**Historic Environment Scotland
consultation**

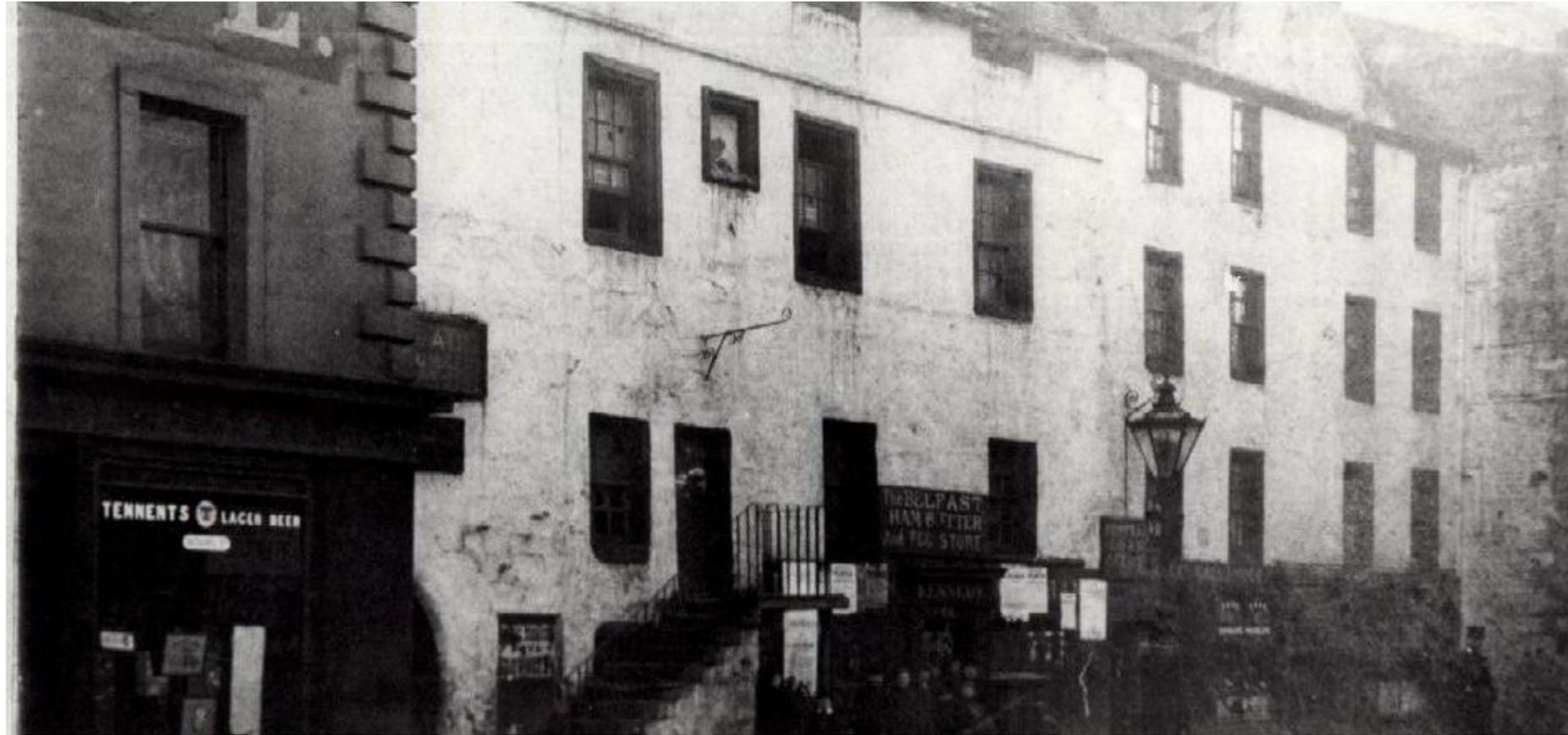


Image: Glencairn House, 1890s. Photo reproduced with the permission of WDC archive.

A virtual meeting was held with Louisa Humm, senior historic buildings advisor with Historic Environment Scotland (HES), on Friday 3rd September. The concept design was presented to her and a discussion followed. Below is a summary of the items discussed:

Principle of proposal

- HES confirmed that, in principle, they would support the renovation of Glencairn House for use as a public library and museum.
- HES confirmed that, in principle, demolition of the existing 1930s extension and construction of a new extension is acceptable.
- HES confirmed they had no objection to the construction of the children's library pavilion. HES noted this was outwith their remit as it does not impact the listed building.

Height of the proposed extension

- Ridge height of proposed extension will need to be considered carefully. It should not be higher than Glencairn House.
- The second floor of the proposed extension may be a sticking point as it will significantly alter the rear elevation. HES to consider further.
- In due course HES would like to see views of how the new extension will change the view of Glencairn House from Riverside Lane – before and after images.

- HES noted that the chamfered shape of the extension is positive as it allows views back to original rear elevation from Quay Pend.

New openings in rear elevation

- In due course, PP to provide details of all new openings proposed in the rear elevation connecting into the proposed extension.
- New openings should be kept to a minimum and existing openings re-used where possible.

Quay Pend

- HES would not support a gate to Quay Pend. Noted that this historic route is significant and should not be blocked to public access.
- Concerns over anti-social behaviour noted, but HES felt it could be dealt with through the building design e.g. lighting, etc.

Carnegie Library at Strathleven Place

- HES noted that they would look to see a proposal for Strathleven Place in conjunction with Glencairn House as they wouldn't want the Carnegie Library to lie empty.
- Proposal for public archive mentioned. Further details to be provided to HES once developed.

Removal of floor over mezzanine

- HES noted they would like to consider this aspect of the proposal further. HES suggested a site visit might be useful to understand the impact. Thursday 9th PM proposed, HES to confirm availability.

Following this meeting Louisa Humm confirmed by email:

"...my initial reaction was that the proposals seem potentially very positive. Potential areas of concern that you should bear in mind and try to minimise are the creation of new openings in the historic fabric, and ensuring that the rear elevation can continue to be seen and understood. I will need to see further info on your proposals for extending the mezzanine into the first floor to comment on that further."

Following the virtual meeting a site visit was held on Thursday 9th Sept.

11

**Scottish Environment Protection Agency
consultation**

A virtual meeting was held with Lorna McLean, from the Scottish Environment Protection Agency (SEPA), on Friday 3rd September. The concept design was presented to her and a discussion in relation to flood risk followed. Below is a summary of the items discussed:

- SEPA noted that they did not object to the proposal to use Glencairn House as a library and museum as this would be the same use class in terms of flood vulnerability as the previous use (office, credit union).
- SEPA noted that as the proposed extension to Glencairn House is the same footprint as the existing extension, they had no objection to it.
- SEPA noted that as the new children's library pavillion forms part of the overall redevelopment it could be considered as an "exceptional circumstance" and so would be acceptable. Noted that there was previously a toilet block on the site.
- SEPA noted that flood resilience should be part of the developed design. This includes:
 1. The finished floor level of the children's library. SEPA noted the Council's flood risk advisor can provide guidance on an appropriate FFL. PP noted that given the use as a children's library level access will be required for buggies, etc.
 2. Flood proofing measures in the building. This would include locating services, in particular power, at high level so they wouldn't be damaged in a flood. Using floor finishes that wouldn't be damaged in a flood, etc. SEPA noted that glazed ceramic tiles are a suitable external cladding. SEPA noted that flood barriers would not be required in this instance.
 3. Flood evacuation plan. SEPA would look to see a flood evacuation plan was put in place for both buildings.
- SEPA noted that the planning use classes are different to the flood risk use classes. SEPA noted that libraries and nurseries are in the same planning use class, but a nursery is in a higher risk use class for flood risk so they might look for a planning condition that the children's library could not be converted to a nursery in future.
- A further meeting is required pre-planning when the design is developed. Flood risk hydrologist from SEPA can attend to provide further guidance.

Image: Plan drawing indicating location of public toilets (now demolished) on children's library site

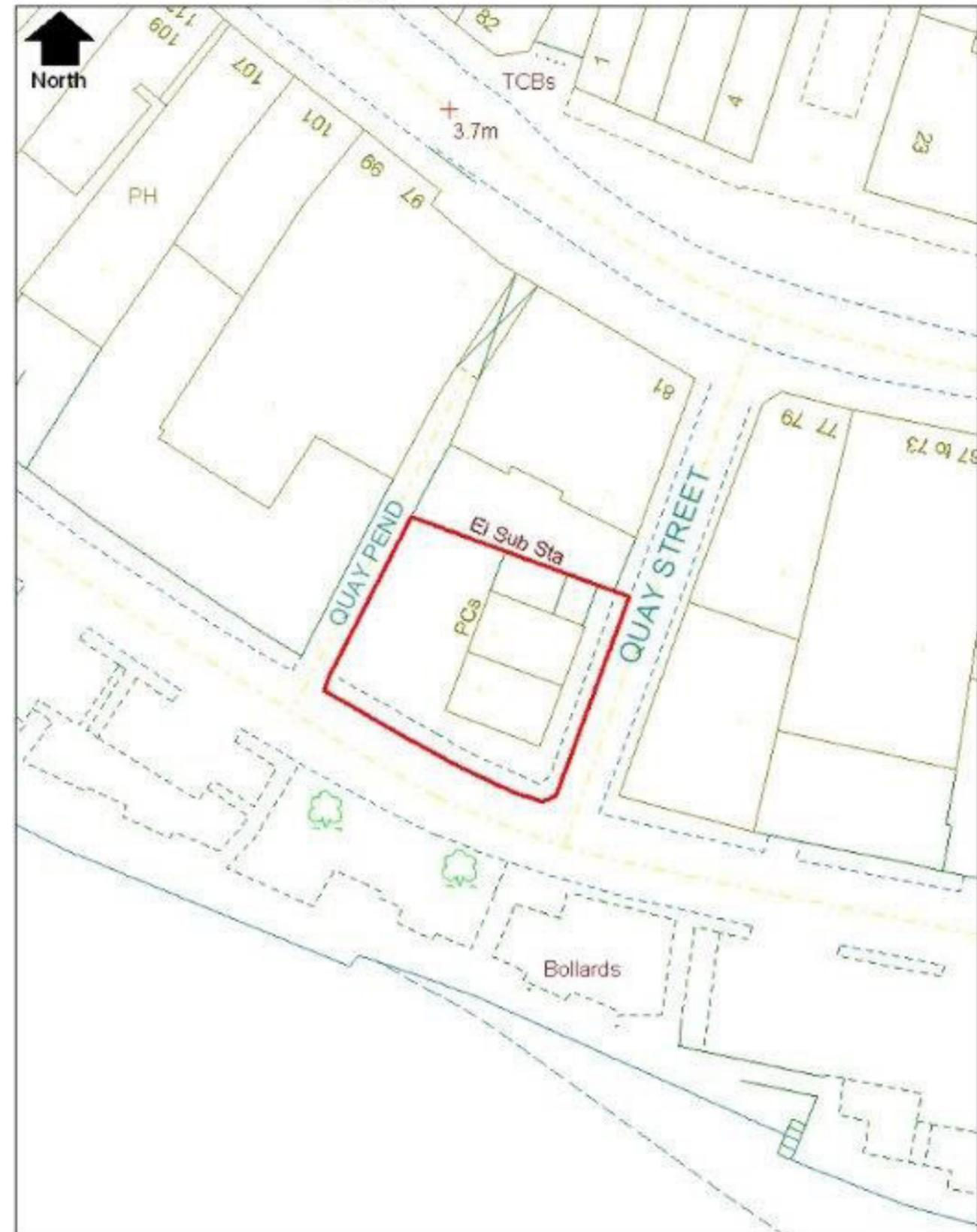
West Dunbartonshire Council

Title : Public Toilet, Quay Street, Dumbarton

Map No : DA44
Date : 30/04/2008

Map Ref : NS3975SE
Scale : 1:500

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12

Inclusive design

This project aims to provide improved access within Glencairn House that is based on good practice and reasonableness.

Good practice is a subjective point of view but takes into account:

- a) design standards such as the current non-domestic Scottish Building Regulations and BS8300
- b) professional advice and
- c) consultation with disabled people who will use the building.

It may not be possible in all instances to achieve good practice and so a 'reasonable' approach can be adopted.

Reasonableness

The Equality Act 2010 (EA) makes frequent reference to what is reasonable and the following factors will be taken into account when considering and justifying what is reasonable for this project.

- Glencairn House is a Category B listed building. In some instances it will not be appropriate or feasible to alter the historic fabric to accommodate improved access. In these instances a 'management approach' can provide a reasonable solution.
- How effective any measures would be in overcoming the difficulty that disabled people face in accessing the specific services offered at Glencairn House.
- How practicable it would be for the service provider to take these measures.
- How disruptive the measures would be relative to the overall improvement.
- The extent of the client's financial and other resources.

The following elements should be taken into consideration in the provision of effective, universal access.

- Physical e.g. mobility issues
- Sensory e.g. visual & hearing issues
- Intellectual e.g. for people with learning difficulties, memory loss, etc
- Social & Cultural e.g. image, visibility, welcome
- Attitudinal e.g. disability awareness/equality training for volunteers and staff.

Providing effective access is a continuous process and all issues may not be solved simply through renovation works. The key is to maintain the facilities to a high standard, ensure staff and volunteers understand the accessibility strategy and regularly check in with building users to make

sure their needs are met.

Understanding the approach to accessibility and gaining buy in from building users and staff is essential. For example, a classic issue with accessible WCs is having the alarm cords tied up by cleaners to allow access for mopping, which then renders the alarm useless. Clear understanding and buy in to the strategy could avoid situations like this and create a better environment for all.

Reflecting on the above, the following improvements are proposed:

- All entrances will provide level access. The existing entrance should be upgraded with a new automated door for ease of entry. The new entrances off Quay Pend will include automated sliding doors.
- Paving on Quay Pend should be reviewed to ensure the approach to the children's library is navigatable for all users, but in particular for parents arriving with buggies.
- Clear signage should be provided clearly signposting the entrances to make it easy to identify. In particular clear signage is required for the children's library pavillion.
- Inside the front door, clear signage including relevant pictograms should be provided to help building users navigate the building.
- A new lift should be provided, sized to accommodate a wheelchair. The lift will serve all floors in the building so all areas are accessible for wheelchair users or those with mobility limitations.
- New corridors and internal doors will comply with current regulations in terms of width.
- 2no. accessible WCs, in compliance with current regulations, will be provided. If, following a detailed building survey, an enhanced facility can be accommodated within the existing space restriction, this will be developed.
- 1no. baby changing facility will be provided within the children's library.
- Internal finishes will be selected to provide adequate visual contrast for visually impaired users.
- An induction loop will be provided at the library desks for hearing impaired users.
- Acoustics should be considered carefully and measures to prevent excessive background or interference noise should be included. This will help create a comfortable environment for people with hearing loss.

13

Health and safety

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The proposed works at Glencairn House will involve risks to health and safety and be required to comply with the Construction (Design and Management) Regulations 2015. As the works will almost certainly involve more than one contractor, the regulations will require the appointment of a Principal Contractor (for the construction stage) and a Principal Designer for the pre-construction stages.

The Principal Designer is an organisation or individual who is appointed by the client to take the lead in planning, managing, monitoring and coordinating health and safety during the pre-construction phase (design and planning stage) of a project. **A Principal Designer must be appointed in writing by the client.**

Decisions taken during the pre-construction phase can have a significant effect on whether a project is delivered in a way that secures health and safety, while avoidance of risks can impact significantly on a construction project's costs and feasibility. It is therefore important that consideration of risks should be undertaken as soon as design work is proposed. As design work proceeds, the project team will work to eliminate foreseeable health and safety risks to anyone affected by the work and, where that is not possible, take steps to reduce or control those risks.

At this stage in the project, high-level risks have been highlighted below along with a list of key survey information required from the Client. As the project progresses a risk register will be developed which will identify specific risks during the construction and maintenance stages of the project, and review options to eliminate or reduce the risks and highlight any residual risks that will need to be managed by the Client.

Construction limitations

- The site is located in a busy town centre. The full area of the site is occupied by building, so an area of the street will need to be cordoned off and managed carefully during construction. Welfare facilities will need to be provided off site in a nearby location. Storage space is limited on site, so a "just on time" approach will need to be adopted where materials are delivered only as needed. Deliveries will need to be coordinated carefully to minimise disruption to town centre traffic. The Main Contractor will need to consider all of the issues relating to the town centre location and tightness of the site

and produce a site management plan including a traffic management plan.

Live environment

- The building is unoccupied so there is no risk to occupants.
- However, the site is in a busy town centre location so there is a requirement to protect pedestrians on High St., a busy retail area. The site will need to be well secured to prevent the public from accidentally or intentionally entering it.

Existing buildings

- The existing building is in good condition and safe access is available for surveying. As such, a full building, utilities and services survey should be carried out pre-construction to identify any risks.
- The existing rear extension, to be demolished, shares party walls with neighbouring buildings. Temporary support for the neighbouring building may be required during construction. A structural engineer should review the existing situation pre-construction and prepare a temporary works design.

Surveys to be undertaken

- Full building and site survey - Revit 2022
- Existing utilities - both underground and overhead.
- SI to identify the ground conditions, contaminations, gases, etc.
- Structural survey of the existing building and party walls.
- We note all asbestos has been removed from the building.
- We note guano has been removed from the building.
- We note that extensive fabric repair works have been carried out so further fabric inspection to the main building is not required.

Works which put construction / maintenance personnel at risk:

- A roof access strategy will need to be developed at the next stage given the geometry of the roof and location of the proposed rooflights.
- Window cleaning - some windows will be difficult to access given the site constraints. A strategy should be developed to ensure safe access for window cleaning.
- High ceilings - an access strategy to lighting and other services in the first floor where the ceilings are high should be developed.

Fire safety

- A fire safety strategy must be developed and approved by Building Control and Fire Services. This should ultimately consider protection of life and fabric during construction, partial and final occupation.

Accessibility

- A design and access statement should be prepared to consider the accessibility of the building and wider environment for all users.

CDM Compliance

- An appropriate programme for design and construction should be developed to allow safe construction of the building.
- The client must carry out competence checks on Designers and Contractors

14

Sustainability strategy

RIBA Sustainable Outcomes

These are industry standard headings against which we can measure the project proposals at each stage.

1. Operational energy and CO2
2. Embodied energy and CO2
3. Sustainable connectivity and transport
4. Sustainable water cycle
5. Sustainable land use and biodiversity
6. Good health and wellbeing
7. Sustainable communities and social value
8. Sustainable lift cycle value

Operational energy and CO2

At Stage 3 we will agree achievable TARGETS for operational energy use. RIBA suggest reduction on building regulation minimum by between 25% (minimum practice) and 75% (best practice). This can be decided in line with Council policy and with input from the Services Engineer (once appointed).

During Stage 3 we will:

- Assess the existing building's energy performance.
- Assess the existing building condition and review upgrade options within context of Category B listing. Fabric first approach.
- As the architectural concept is developed, we will consider passive measures in the first instance – orientation, massing, building fabric, construction method, size and location of windows, etc. The concept design will be developed incorporating these measures to reduce reliance on active measures.
- Assess maintenance requirements proposals in conversation with client to ensure they are realistic before proceeding.
- Review proposals against Part L of Building Regulations. (M&E)
- Commit in conjunction with the client to carrying out a Post Occupancy Evaluation when agreeing scope of works for next stages.
- MEASURE - Energy use modelling to be carried out to test design. CIBSE TM54 or other comparable design for performance methods. This should be included in the Services Engineer's scope of work.

Embodied energy and CO2

At stage 3, we will agree achievable TARGETS for embodied energy use and agree a method of assessment. This will require input from the whole design team. This should be included within the agreed fees.

During Stage 3 we will:

- Prioritise making the existing building work as well as possible.
- Consider options for 'leanest' new build element to make building work.
- Test proposed extension against sustainability outcomes i.e. extension may incur additional embodied energy but greatly increase social value, health and wellbeing potential, etc
- Consider material selection and construction approach at high level. Minimise high embodied energy materials. Prioritise low carbon and recycled materials.
- MEASURE – During Stage 3 a whole life carbon assessment should be prepared. Clarify who will carry this out and ensure the appropriate fee is in place to allow this to happen.

Sustainable connectivity and transport

We will:

- Review existing connections to public transport and other forms of sustainable transport to ensure the building is easily accessible.
- Review potential to encourage use of sustainable transport to visit e.g. secure bike parking, showers & changing facilities for staff, etc.

Sustainable water cycle

We will:

- Assess the existing storm water management strategy.
- Review impact of proposed works and develop sustainable strategy.
- Review how potable water use on site can be reduced e.g. low flow WC fittings.
- Agree TARGETS – RIBA suggest between 20% (minimum practice) and 40% (best practice) reduction on building regulation minimum. This is to be done in collaboration with the client with an understanding of WDC sustainability policy.

Sustainable land use and biodiversity

We will review options for improved ecological value and habitats on site – develop initial ideas for children's library garden.

Good health and wellbeing

We will:

- Define health and wellbeing TARGETS.
- Develop inclusivity strategy e.g. dementia

friendly design, accessibility, welcoming entrance, etc.

- Consider environmental comfort - connection to external spaces, daylight and thermal comfort, air quality, acoustic comfort, etc.

Sustainable communities and social value

- The project brief puts community and social value at its heart. With the client, we can identify the user groups and consider opportunities to enhance further the social and community structures offered by the building e.g. promote inclusivity, create incidental places for social interaction, etc.

Sustainable life cycle value

We will:

- Carry out whole life cycle analysis of key building systems assuming this is agreed as part of the Services Engineer's scope of works and fee.
- Assess potential future uses / adaptability of the building and futureproof against them.



Cost plan

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INDICATIVE COST

A) OVERALL SUMMARY

Description	Total Cost
1: Refurbishment Works	£ 1,537,500
2: Extension to Existing	£ 855,000
3: Children's Library	£ 375,250
4: Contingencies	£ 553,550
5: Preliminaries	£ 664,260
6. Clients FF+E	£ 100,000
7. Professional Fees	£ 735,401
TOTAL	£ 4,820,961
Cost per m2 (Works Cost Only) (Ex VAT)	£ 5,818

NOTES

The foregoing costs exclude:

- a Concept and Project Development and Design Team Fees
- b Site Acquisition/Lease
- c Business Plan
- d Legal Fees
- e Finance Charges
- f Insurances
- g Site Surveys & Investigations
- h VAT
- i Inflation

The foregoing costs include:

- a Preliminaries at 20%
- b Contingency allowance of 20%
- c FF+E allowance
- d Professional Fees at 18%

INDICATIVE COST

B) SUMMARY OF COSTS

Description	G.I.F.A. m ²	Total Cost
* 1: Refurbishment Works	410	£ 1,537,500
* 2: Extension to Existing	180	£ 855,000
* 3: Children's Library	95	£ 375,250
4: Contingencies	20%	£ 553,550
5: Preliminaries	20%	£ 664,260
6. FF & E - Allowance		£ 100,000
7. Professional Fees - Allowance	18.00%	£ 735,401
TOTAL	685	£ 4,820,961

* Estimated Area

NOTES

The foregoing costs exclude:

- a Site Acquisition/Lease
- b Site Acquisition/Lease
- c Business Plan
- d Legal Fees
- e Finance Charges
- f Insurances
- g Site Surveys & Investigations
- h. VAT
- i. Inflation

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WEST DUNBARTONSHIRE COUNCIL

Report by Chief Officer - Regulatory & Regeneration

Infrastructure, Regeneration and Economic Development Committee: 17 November 2021

Subject: Purchase of the Artizan Shopping Centre, Dumbarton, G82 1LJ

1. Purpose

- 1.1** The purpose of this report is to update Committee in relation to the planned purchase of the Artizan Shopping Centre in Dumbarton and to approve a use of existing Council capital budgets if required.

2. Recommendations

- 2.1** It is recommended that the Committee agrees the Council temporarily funds the purchase of the Artizan centre from the Regeneration fund and funding which is available from the approved Local Economic Development Budget, as detailed in paragraph 4.6 below, in advance of receipt of funds from the UK Government's Levelling-up Fund, should this be required.

3. Background

- 3.1** Dumbarton is the second largest town in West Dunbartonshire, with a population of approximately 20,000, located on the banks of the River Leven near its confluence with the River Clyde. The town has good public transport links to surrounding settlements, with convenient access by car, rail and bus to Clydebank and Glasgow, and good road access via the Erskine Bridge to Paisley and Glasgow Airport. The town is located on a popular cycle path (NCN 7) between Loch Lomond and Glasgow, which brings visitors into the town.
- 3.2** Regeneration of the Dumbarton town centre, as well as adjacent post-industrial waterfront sites, has been a priority for the Council since 2000. In the recent years Dumbarton, like other town centres, has been affected by changing shopping habits, resulting in reduced footfall, vacancies on the High Street, a narrower range of shops, and poor quality of retail. Covid-19 has only exacerbated these challenges and made it even more difficult for town centres to thrive. It is the Council's ambition to make Dumbarton Town Centre and its surroundings a resilient, vibrant and attractive place, and to make it easily accessible by walking and cycling.
- 3.3** The most recent [Revised Strategy for Dumbarton Town Centre and Waterfront](#) was produced in 2014 to guide future projects and development. In 2015 a Design Charrette for the Rock and Castle (<http://www.west-dunbarton.gov.uk/planning-building-standards/dumbarton-rock-charrette/>) created greater impetus for change. More recently a Visitor Gateway Strategy

and Action Plan has been agreed and a new Conservation Area is being designated for Dumbarton Town Centre.

- 3.4** In recent years many ambitious regeneration projects have been completed in and around the town centre. The town's post-industrial waterfront sites are being redeveloped for housing and other uses; a new waterfront path linking the town centre with its Rock and Castle is being constructed; historic Municipal building has been significantly renovated and a new Council Office was built at 16 Church Street, preserving a prominent listed building facade. Connecting Dumbarton is the latest project due on site in early 2022, which will improve pedestrian connectivity between the Town Centre and the railway station.
- 3.5** The shopping centre was built in the 1970s as part of a wider town redevelopment which removed the historical street pattern. Owned by the Mars Pension Fund (MPS), over 40% of its floorspace is vacant with a balance of secondary retailers and low-grade service uses, compared to a Scottish average town centre vacancy rate of 12%. Current consensus is the Artizan dominates the town centre and is a barrier to connections between the High Street and Dumbarton Train Station.
- 3.6** The Infrastructure, Regeneration and Economic Development Committee (IRED), at its meeting on 10 June 2021, approved the submission by the Council of a bid to the UK Government's Levelling-Up Fund (LUF) for funding of £19.9m to regenerate Dumbarton town centre, a key component of this regeneration being the purchase and redevelopment of the Artizan Centre site.
- 3.7** The IRED Committee approved the purchase of the shopping centre at a meeting on 15 September 2021 and gave authority to officers to proceed to conclude the purchase. The expectation being that the bid to the UK Government's Levelling-Up Fund (LUF) provides the financial resources necessary to purchase and re-develop the Artizan shopping centre as part of the regeneration of the town centre.

4. Main Issues

- 4.1** Since the September IRED Committee, officers have been carrying out due diligence on the legal title and it is anticipated that settlement will take place within 20 days following completion of legal title checks.
- 4.2** There currently remains a core of essential uses within the town centre which are key as part of a functional town centre. We would be expecting a substantial number of the existing tenants to renew their leases approaching their next term date, and these will be supplemented by other town centre uses as the market recovers and new business opportunities present themselves, allowing for town centre regeneration.
- 4.3** The occupier profile and income from the Centre will remain viable with proactive asset management and a positive, flexible lease renewal and new

letting approach. However the purchase of the shopping centre is for regeneration purposes and it is envisaged that much of the current shopping centre site will be demolished and re-purposed, so the current income stream will significantly decline as the regeneration project proceeds and it is clear that the planned Council investment in the site is not intended for commercial purposes.

- 4.4** Since the last IRED Committee the UK Government announced that the Council's bid for LUF funding was successful and has secured £19.9m. At this stage the UK Government's LUF Team are establishing and planning to meet Council officers in mid December 2021. The financial governance and funding arrangements for drawdown and access to the LUF funding are unlikely to be known prior to the likely settlement date for the purchase of the shopping centre. There is, therefore a potential requirement to secure funding in advance of actual receipt of the LUF funding.
- 4.5** As detailed in the report presented to IRED Committee on 15 September 2021, officers have considered sourcing funding from the Council's Regeneration Fund and Local Economic Development capital budgets as an advance of securing the LUF funding.
- 4.6** The Council has been updating this Committee on expenditure across the Regeneration Fund since it was established in October 2015 with the most recent update presented to Committee on 15 September 2021. A number of projects have either experienced delay or scope reduction, in particular the funding planned for Station Square in Balloch is not proceeding. Together with £9,000 not required for District Heating, remaining balance from Balloch Village square of £30,346 and the previously uncommitted balance of the Regeneration Fund (£416,000) leaves funding of £1,255,346 from the £12.4m Regeneration Fund currently uncommitted and therefore available:

	Project Cost	Regeneration Fund	Spend to date
Balloch Public Realm- Village Square	£ 400,000	£ 369,654	£ 369,654
Former Carless site - SMTP	£ 4,518,100	£ 2,000,000	
Dumbarton Pathway	£ 1,727,000	£ 1,500,000	£ 409,219
QQ District Heating	£ 3,509,000	£ 3,500,000	£ 3,500,000
Connecting Clydebank	£ 4,300,000	£ 2,300,000	£ 1,237,065
Glencairn House	£ 4,837,879	£ 1,000,000	£ 104,879
Commercial units - QQ Wheatley	£ 475,000	£ 475,000	£ 303,946
Artizan Centre Purchase Contribution	£ 1,700,000	£ 1,255,346	
Cost Centre: R5032 - Regeneration Fund	£ 21,466,979	£ 12,400,000	

The approved purchase price of the Artizan centre is £1.7m, however due to timing of the purchase of the Artizan centre and the UK Government finalising financial arrangements of the LUF it is recommended that the Council temporarily funds the purchase of the Artizan centre from the Regeneration fund and funding which is available from the approved Local Economic Development Budget which is experiencing underspend due to timing delays in delivering projects. The funding being sought temporarily is from following existing approved Council capital budgets:

Regeneration Fund (see table above)	£1,255,346
Local Economic Development Budget 2021/22	£444,654
Total	£1,700,000

- 4.7** As stated at 4.4 the UK Government's LUF Teams are being established and Council officers have started engagement early in respect of this issue, however it is likely that LUF funding may not be available in time for the settlement of this planned purchase.

5. People Implications

- 5.1** There are no people implications with this report.

6. Financial and Procurement Implications

- 6.1** The financial implications of this report are to purchase the shopping centre at the proposed price of £1.7m from the capital budgets identified at 4.6 above on a temporary basis until LUF funding becomes available. Once the LUF funding is received the above budgets will again become available for other regeneration and economic development uses.

- 6.2** A net receivable annual income of £321,582 (based on current occupancy and rent levels) is anticipated to be received, however this value will be temporary until the regeneration of the site commences and the level of income received will significantly reduce as a result of the regeneration and re-purposing of the shopping centre site. The purchase of the Artizan centre is therefore not an investment with an expectation of commercial gain and is for regeneration purposes.

- 6.3** During the implementation of the project officers will continue to review the financial impact of the project, and options for the use of this income will be reported to a future committee or Council for approval.

- 6.4** The Council is purchasing the Artizan centre on an open and competitive basis. The purchase price has been negotiated by the asset management team and heads of terms have been agreed.

7. Risk Analysis

- 7.1** There is a risk that the existing tenants may not be happy with proposed relocations or lack of suitable relocation spaces being available for the parts of the centre we are considering re-configuring. On completion of the sales transaction for the centre, officers will engage and communicate with all existing tenants.

- 7.2** There is a risk that anything spent prior to the financial governance arrangements for the Levelling-Up funding being agreed will not be counted towards the Levelling-Up funding. Officers are mindful of this potential risk by minimising any such spend and engaging with UK Government officials to

expedite the release of the Levelling-Up funding Council has been awarded and clarify whether this risk is likely to crystallise.

8. Environmental Sustainability

8.1 Any future development of the sites will require that SEA legislation will be considered and taken into account as part of any planning application assessment.

9. Equalities Impact Assessment (EIA)

9.1 An Equality Impact Screening did not indicate any further action required in relation to this transaction.

10. Consultation

10.1 Consultations have been undertaken with officers across a number of services within the Council.

11. Strategic Assessment

11.1 At its meeting on 25 October 2017, the Council agreed that its five main strategic priorities for 2017 - 2022 are as follows:

- A Strong local economy and improved employment opportunities;
- Supported individuals, families and carers living independently and with dignity;
- Meaningful community engagement with active empowered and informed citizens who feel safe and engaged;
- Open, accountable and accessible local government, and
- Efficient and effective frontline services that improve the everyday lives of residents.

11.2 The proposals within this report are in line with the Council's strategic priorities as stated above.

Peter Hessett

Chief Officer, Regulatory & Regeneration

Date: 8 November 2021

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Appendices: None

Background Papers: Joint Report by Chief Officer - Regulatory and Regeneration and Chief Officer - Housing and Employability to Infrastructure and Regeneration Committee 10 June 2021

Report by Chief Officer – Supply, Property & Distribution - Housing and Employability to Infrastructure and Regeneration Committee 15 September 2021

Wards Affected: All